LEGAL DESCRIPTION PROVIDED BY: "INSERT SURVEYOR NAME"

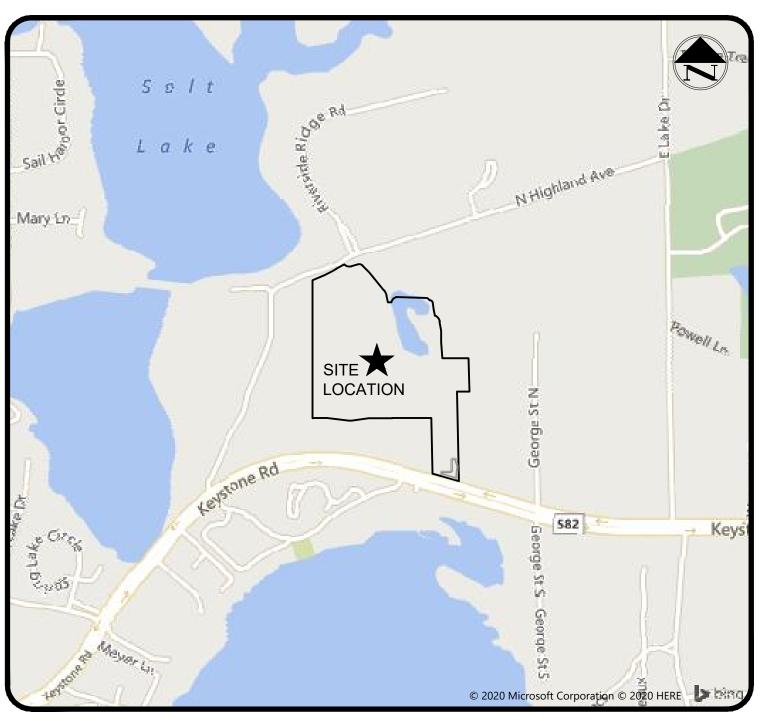
RANGE 16 EAST, PINELLAS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 2 SOUTH, RANGE 16 EAST; THENCE SOUTH 01°21 '26" EAST ALONG THE WEST OF THE SAID NE 1/4 FOR 268.28 FEET TO INTERSECT THE NORTH LINE OF THE PINELLAS COUNTY TRACT AS RECORDED IN OFFICIAL RECORDS BOOK 13138, PAGE 1943 OF THE PUBLIC RECORDS OF PINELLAS COUNTY , FLORIDA; THENCE ALONG THE SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES: (1) SOUTH 89° 49' 07" EAST FOR I 59. 69 FEET; (2) SOUTH 82° 20' I 5" EAST FOR 8 I . 24 FEET; (3) SOUTH 89°51' 16" EAST FOR 87.85 FEET; (4) NORTH 83°46'31" EAST FOR 57. 10 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°00'02" WEST FOR I .373.81 FEET TO THE SOUTH RIGHT OF WAY OF NORTH HIGHLANDS AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 6298, PAGE 1044 OF THE AFORESAID PUBLIC RECORDS; THENCE ALONG THE SAID SOUTH RIGI WITH A NON-TANGENT CURVE TO THE LEFT; (2) NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS O I ,030.00 FEET, A CENTRAL ANGLE OF 09°45'47", AN ARC LENGTH OF 175.51 FEET, AND A CHORD BEARING NORTH 63° 12'29" NORTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 993.00 FEET, A CENTRAL ANGLE OF 05° 18'53", AN ARC LENGTH OF 92. I I FEET, AND A CHORD BEARING NORTH 61°00'47" EAST FOR 92.08 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE LEFT AND INTERSECT THE WESTERN LINE OF THE SMITH PARCEI DESCRIBED IN OFFICIAL RECORDS BOOK 20448, PAGE 1462 OF THE AFORESAID PUBLIC RECORDS; THENCE ALONG THE WESTERN LINE OF SAID PARCEL THE FOLLOWING TWENTY-TWO (22) COURSES: (I) EASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 70.32 FEET, A CENTRAL ANGLE OF 59°44'29", AN ARC LENGTH OF 73.32 FEET, AND A CHORD BEARING SOUTH 75°41 '00" EAST FOR 70.04 FEET; (2) NORTH 74°26'47" EAST FOR 69.03 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT; (3) EASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 48.84 FEET, A CENTRAL ANGLE OF 60° 18'43", AN ARC LENGTH OF 51 .41 FEET, AND A CHORD BEARING SOUTH 75°23'51" EAST FOR 49.07 FEET; (4) SOUTH 45° 14'29" EAST FOR 94.64 FEET; (5) SOUTH 38°59'41" EAST FOR 231.03 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT; (6) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 127. I I FEET, A CENTRAL ANGLE OF 26°37'01", AN ARC LENGTH OF 59.05 FEET, AND A CHORD BEARING SOUTH 25°41' 12" EAST FOR 58.52 FEET; (7) SOUTH 12°22'42" EAST FOR 67.95 FEET; (8) NORTH 89°59'20" EAST FOR 35.3 FEET; (9) NORTH 00°00'40" WEST FOR 7.65 FEET; (10) NORTH 32°42'02" EAST FOR 34.29 FEET; (I I) NORTH 62° ° 18'38" EAST FOI FOR 310.60 FEET; (15) SOUTH 51°06'38" EAST FOR 34.56 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT; (16) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 30. 17 FEET, A CENTRAL ANGLE OF 77°39'02", AN ARC LENGTH OF 40.89 FEET, AND A CHORD BEARING SOUTH 47°02'47" EAST FOR 37.83 FEET; (17) SOUTH 08° 13'20" EAST FOR 69. 25 FEET; (18) SOUTH I 1° 33 '02" EAST FOR 60. 94 FEET TO THE PO I NT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT; (19) SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 81.64 FEET, A CENTRAL ANGLE OF 55°36'53", AN ARC LENGTH OF 79.24 FEET, AND A CHORD BEARING SOUTH 38°06'44" EAST FOR 76. 17 FEET; (20) SOUTH I 0° I 8' 07" EAST FOR 91. 60 FEET; (21) SOUTH 00° 45' 42" WEST FOR I 15. 9 FEET; (22) SOUTH 04°59'09" EAST FOR 156.73 FEET TO INTERSECT THE NORTH LINE OF THE WEST 1/2 OF LOT 4 OF THE AFORESAID PLAT OF TAMPA S TARPON SPRINGS; THENCE SOUTH 89°41' 13" EAST ALONG SAID NORTH LINE FOR 260.29 FEET TO THE NORTHEAST CORNERS OF SAID WEST 1/2; THENCE SOUTH 01°23'08" EAST ALONG THE EAST LINE OF SAID WEST 1/2 FOR 332. 16 FEET TO THE SOUTH EAST CORNER OF SAID WEST 1/2; THENCE NORTH 89°43'00" WEST ALONG THI PLAT OF TAMPA S TARPON SPRINGS; THENCE SOUTH 01° I I '30" EAST ALONG A PORTION OF THE EAST LINE OF SAID LOT 10 FOR 892.64 FEET TO THE NORTHERN RIGHT OF WAY OF KEYSTONE ROAD AS SHOWN IN OFFICIAL RECORDS BOOK WAY FOR 273.64 FEET TO INTERSECT THE WEST LINE OF AFORESAID LOT 10; THENCE NORTH 01° 15' I I" WEST ALONG A PORTION OF SAID WEST LINE FOR 553. 15 FEET INTERSECT THE AFORESAID NORTH LINE OF THE PINELLAS COUNTY TRACT AS RECORDED IN OFFICIAL RECORDS BOOK 13138, PAGE 1943 OF THE AFORESAID PUBLIC RECORDS; THENCE ALON THE SAID NORTH LINE THE FOLLOWING EIGHT (8) COURSES: (1) NORTH 89°49'07" WEST FOR 389.38 FEET; (2) SOUTH 00°06'48" WEST FOR 3.75 FEET; (3) NORTH 89°46'27" WEST FOR 234. 19 FEET; (4) SOUTH 82° 10'56" WEST FOR 171.95 FEET; (5) SOUTH 89° 54' 30" WEST FOR 29. 02 FEET; (6) NORTH 83° 00' 58" WEST FOR 2 15. 96 FEET; (7) NORTH 89° 45' 06" WEST FOR I 26 77 FEET; (8) SOUTH 83° 46' 31 " WEST FOR 20. 14 FEET TO THE POINT OF BEGINNING.

CONSTRUCTION DOCUMENTS For

KEYSTONE VILLAGE

SECTION 08, TOWNSHIP 27 SOUTH, RANGE 16 EAST PINELLAS COUNTY, FLORIDA



VICINITY MAP

SITE DATA TABLE

Project Location	Tarpon Springs, Florida		
Total Project Area	45.77±		
Present Zoning	A & RPD-0.5		
Future Land Designation	RR		
PID#	08-27-16-89406-000-0060		
Flood Zone	"AE" And "X" Firm Panel No. 12103C0036G Dated: 09/03/2003		
No. Of Units	64		
Petition Number	Currently under review		

Call 48 Hours Before You Dig



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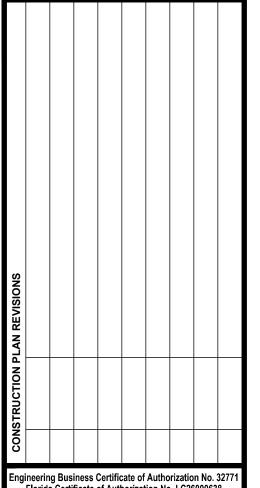
PROJECT TEAM MEMBERS:

DEVELOPER: Haydon Development Group 5795 Ulmerton Road Suite 200 Clearwater, Florida 33760 PHONE: (813) 446-3444

> Surveyor: GEOPOINT SURVEYING, INC. 213 Hobbs Street Tampa, Florida 33619 PHONE: (813) 248-8888

ENGINEER: LEVELUP CONSULTING, LLC 505 E. Jackson Street Suite 200 Tampa, Florida 33602 Рноме: (813) 375-0616





Florida Certificate of Authorization No. LC2600063

Patrick Ely Payne, P.E. State of Florida, Professional Engineer, License No. 85381

This item has been electronically signed and sealed by Patrick Ely Payne, P.E. on 8/27/20 using a SHA-1 authentication code. Printed copies of this document are not considered signed and sealed and the SHA-1 authentication code must be verified on any electronic copies

VERTICAL DATUM INFORMATION

CONTAINING I ,993,449 SQUARE FEET OR 45.7633 ACRES, MORE OR LESS.

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE RELATIVE TO THE NATIONAL GEODETIC

GENERAL NOTES

- 1.) THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER/ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- 2.) ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION. 3.) ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES
- 4.) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S
- 5.) WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES, INCLUDING BUT NOT LIMITED TO DUKE ENERGY, VERIZON, BRIGHTHOUSE, TECO PEOPLE GAS AND THEIR SUBCONTRACTORS.
- 6.) THE WATER, SANITARY SEWER AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF RPON SPRINGS ENGINEERING DEPARTMENT
- 7.) CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES. 8.) IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LAYOUTS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF THE ALL UNDERGROUND WORK ASSOCIATED WITH THIS
- 9.) PRIOR TO ANY CLEARING AREAS THAT ARE CUT CORRIDORS SHALL BE ROOT PRUNED WITH A DOSKO BRAND ROOT PRUNER OR APPROVED EQUAL. PROVIDE TREE PROTECTION BARRICADES, IN ACCORDANCE WITH PINELLAS COUNTY SPECIFICATIONS, AROUND EXISTING TREES TO REMAIN. COORDINATE WITH OWNER'S ARBORIST PRIOR TO REMOVAL OF EXISTING TREES IN CONFLICT WITH
- 10.) ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF TARPON SPRINGS LAND DEVELOPMENT, ZONING AND/OR RELATED ORDINANCES AND MINIMUM TESTING FREQUENCY REQUIREMENTS
- 11.) AS-BUILT SURVEYS AND/OR RECORD DRAWINGS MUST BE SUBMITTED TO THE COUNTY FIVE (5) BUSINESS DAYS PRIOR TO THE SITE INSPECTION FOR CERTIFICATE OF OCCUPANCY. NO CO WILL BE ISSUED WITHOUT REVIEW AND ACCEPTANCE OF RECORD
- 12.) ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY WILL BE COMPACTED TO 100% OF MAXIMUM DENSITY AND SODDED.
- 13.) ALL PUBLIC SIDEWALK THAT IS DAMAGED OR DOES NOT MEET ADA CRITERIA SHALL BE REPLACED.
- 14.) DETENTION AREAS SHALL BE ROUGHED OUT PRIOR TO OTHER SITE GRADING AS A MEANS OF EROSION CONTROL.
- 15.) SILT FENCE SHALL BE INSTALLED ACROSS THE OPENINGS OF ALL INFLOW PIPES INTO A POND.
- 16.) CONSTRUCTION OF STORMWATER FILTERDRAINS (UNDERDRAINS) SHALL BE INSPECTED BY THE ENGINEER OF RECORD WITH AN INSPECTION REPORT AND PHOTO DOCUMENTATION PROVIDED TO THE COUNTY.
- 17.) SILT FENCE SHALL BE INSTALLED AT ALL INFLOW POINTS TO STORMWATER MANAGEMENT SYSTEMS AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PROJECT.RETAINED SEDIMENT SHALL BE REMOVED AT REGULAR INTERVALS OR AS
- COMPLETION FORM (ENCLOSED) AND SUBMIT 2 ORIGINAL COPIES OF AS-BUILT PLANS. ELECTRONIC FILES (BOTH PDF AND DWG) AND INDEPENDENT TESTING REPORTS FOR WORK PERFORMED WITHIN THE CITY OF TARPON SPRINGS RIGHTS-OF-WAY 19.) A CERTIFICATE OF OCCUPANCY INSPECTION CANNOT BE REQUESTED OR SCHEDULED UNTIL ALL PROJECT COMPLETION

18.) UPON COMPLETION OF THE PROJECT, THE ENGINEER OF RECORD SHALL COMPLETE THE ORIGINAL CERTIFICATION OF PROJECT

DOCUMENTS HAVE BEEN SUBMITTED TO OUR OFFICE. 20.) AS-BUILT DOCUMENTS MUST BE SUBMITTED AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE REQUESTING OR SCHEDULING OF A CO. CO INSPECTIONS MUST BE SCHEDULED TWO (2) DAYS IN ADVANCE AND ARE ONLY AVAILABLE ON MONDAYS, WEDNESDAYS OR

SAFETY NOTES

- 1.) DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OF HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL
- 2.) LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- 3.) CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.

4.) ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL

- SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND
- SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION. 7.) IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- 8.) THE CONTRACTOR SHALL EXERCISE EXTREME CALITION IN AREAS OF BURIED LITH THES AND SHALL PROVIDE AT LEAST 48 HOUR NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE-ONE (1-800-432-4770) TO ARRANGE FIELD LOCATIONS.
- 9.) THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT 10.) ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.

SITE PLAN AND COORDINATE GEOMETRY NOTES

- 1.) TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A SURVEY CONDUCTED BY GEOPOINT ENGINEERING. ANY DISCREPANCIES SHALL
- 2.) ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES SCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING 3.) MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL
- POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- 4.) LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK
- 5.) UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED. NO ENGINEER'S CERTIFICATIONS, FOR
- FINALIZATION PURPOSES, WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE ENGINEER.

PAVING AND GRADING NOTES

- 1.) ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- 2.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING ETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- 3.) ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE
- 4.) PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON
- 5.) CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING
- 6.) CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS. 7.) REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL
- F.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS. 8.) ALL PAVEMENT MARKINGS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO APPLICABLE F.D.O.T.
- 9.) THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT TO PINELLAS COUNTY, CITY OF TARPON SPRINGS AND FDOT SPECIFICATIONS. UPON COMPLETION OF PROPOSED CONSTRUCTION, SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE
- 10.) A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY
- TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING. 11.) THE CONTRACTOR IS RESPONSIBLE TO PREVENT ANY WIND OR STORMWATER RUNOFF EROSION AND IMPLEMENT A STORMWATER

POLLUTION PREVENTION PLAN THAT MEETS REGULATORY REQUIREMENTS. REFER TO THE STORMWATER POLLUTION PREVENTION

- 12.) ALL TRUNCATED DOMES TO BE ADA MATS, YELLOW IN COLOR, AND CONSTRUCTED OF THE PREFORMED GLUED AND ANCHORED DESIGN THAT IS APPROVED TO THE SURFACE OF THE FINISHED CONCRETE.
- 13.) SUB-GRADE STABILIZER TO EXTEND 6" BEYOND BACK OF CURB. 14.) LOTS THAT ARE FILLED PRIOR TO INDIVIDUAL HOME CONSTRUCTION WILL REQUIRE TEMPORARY STABILIZATION BY SEEDING AND MULCHING THE LOTS AFTER FINAL GRADING HAS OCCURRED

DRAINAGE NOTES

- 1.) ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS, DEPT OF ENVIROMENT AND
- INFRASTRUCTURE STANDARDS UNLESS OTHERWISE NOTED ON PLANS. 2.) PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURE WITH THE EXCEPTION OF MITERED END
- SECTIONS WHICH ARE NOT INCLUDED IN LENGTHS. 3.) ALL DRAINAGE STRUCTURE TOPS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- 4.) ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION. THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.

DEWATERING NOTES

- NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/FLEVATION SHOWN ON THE DRAWINGS. UNLESS ADDITIONA NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATION SHOWN ON THE DRAWINGS, UNLESS ADDITIONA
 TESTING SUPPORTS OTHERWISE; AND NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS
 SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION
 DEPTHS/ELEVATIONS. IF ANY LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED
 ABOVE THE PERMITTED DEPTHS/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA. EPC MUST BE CONTACTED PRIOR TO ANY EXCAVATION OF CLAYS. IN THE ABSENCE OF ANY CONFINING OR SEMI-CONFINING UNIT CLAYEY SOILS, A MINIMUM OF 5' OF UNDISTURBED SOILS SHALL REMAIN ABOVE THE UNDERLYING LIMESTONE.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND THE GEOTECHNICAL ENGINEER IF SIGNIFICANT CLAY LAYERS ARE ENCOUNTERED DURING POND EXCAVATION. POND EXCAVATION DEPTHS MAY BE RAISED TO ELIMINATE OR MINIMIZE EXCAVATION OF CLAY MATERIAL. IF THE EXCAVATION EXPOSES CLAYS OR VERY CLAYEY SANDS TO THE FINAL POND SURFACES, THE EXPOSED CLAY AND CLAYEY AREAS SHALL BE COVERED WITH ONE FOOT OF CLEAN SANDY SOILS.
- POND BERMS ADJACENT TO WETLANDS, WHERE SHOWN, SHALL BE CONSTRUCTED AS EARLY AS PRACTICAL IN THE RELATED POND EXCAVATION OPERATION. THE PURPOSE IS TO PREVENT TURBID WATER DISCHARGE TO THE WETLAND DURING POND EXCAVATION. CONTROL STRUCTURES ARE TO BE TEMPORARILY BLOCKED IF NECESSARY TO PREVENT DISCHARGE OF TURBID WATERS.
- WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS AND TO PROTECTED UPLANDS. TREATMENT METHODS INCLUDE, FOR EXAMPLE, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS (OTHER THAN UPLAND PRESERVATION AREAS AND WETLAND BUFFERS), SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS. POND TURBIDITY LEVELS MUST BE VISUALLY EVALUATED UPON CONSTRUCTION COMPLETION. ADDITIONAL MEASURES SUCH AS TEMPORARY LOWERING OF POND WATER LEVELS BY PUMPING TURBID WATER TO OVERLAND FILTRATION MAY BE NECESSARY TO PREVENT DIRECT DISCHARGE OF TURBID WATER TO

CONSTRUCTION STANDARDS AND SPECIFICATIONS

-) MAINTENANCE OF TRAFFIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND IN ACCORDANCE WITH STATE OF FLORIDA D.O.T.
- ALL PAVEMENT STRIPING AND TRAFFIC FLOW ARROWS SHALL BE THERMOPLASTIC COMPOUND, MEETING THE REQUIREMENTS OF AASHTO M 249-79 (1986) AND BE INSTALLED IN SUBSTANTIAL COMPLIANCE WITH F.D.O.T. STANDARD FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 711 WITH RPMS PER FDOT #17352
- 3.) ALL WORK PERFORMED WITHIN THE RIGHT OF WAY SHALL CONFORM TO:
- a.) FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2004), (AKA: STANDARD SPECS).
- b.) FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAYS SYSTEM, LATEST EDITION, (AKA: STANDARD INDEX). COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.
- c.) FDOT ROADWAY PLANS PREPARATION MANUAL VOLUME 1, CHAPTERS 2 AND 25 (2004).
- d.) FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION, JANUARY 2002. e.) ALL TRAFFIC STRIPES AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. THE PERMITTEE SHALL
- FURNISH THE FDOT WITH THE MANUFACTURE'S CERTIFICATION THAT THE THERMOPLASTIC IS "LEAD-FREE".
- 4.) ALL PROPOSED PAVEMENT MARKINGS TO MEET AND MATCH EXISTING PAVEMENT MARKINGS. 5.) ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES
- SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF TRANSPORTATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "STANDARD PLANS" INDEXES 102-600 THROUGH 102-670 (LATEST EDITIONS). ALL PROPOSED WORK MUST COMPLY WITH F.D.O.T. INDEX NO. 700.
- SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
- 8.) SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.
- 9.) PLACE EXPANSION JOINTS WHERE 4" AND 6" CONCRETE ABUT.
- 10.) PLACE EXPANSION JOINT BETWEEN BACK-OF-CURB AND CONCRETE DRIVEWAY
- 11.) COMPACTION FOR PIPE BACKFILL SHALL COMPLY WITH AASHTO T-99 (100%).
- 12.) PROVIDE A MINIMUM OF 3' COVER OVER UTILITIES AT ALL DITCH CROSSINGS
- 13.) THE PERMITTEE'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES. SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION EXCAVATION SAFETY STANDARDS (29 C.F.R. SECTION 1926.650. SUBPART P) WHICH SHALL APPLY TO CONSTRUCTION. OPERATION AND MAINTENANCE PURSUANT TO THIS PERMIT.

CLEARING / DEMOLITION NOTES

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT
- WRITTEN APPROVAL FROM THE CITY OF ST. PETERSBURG AND OR THE OWNER. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED,
- MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF
- REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS TABLEWORK FOR THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS 4.) ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE

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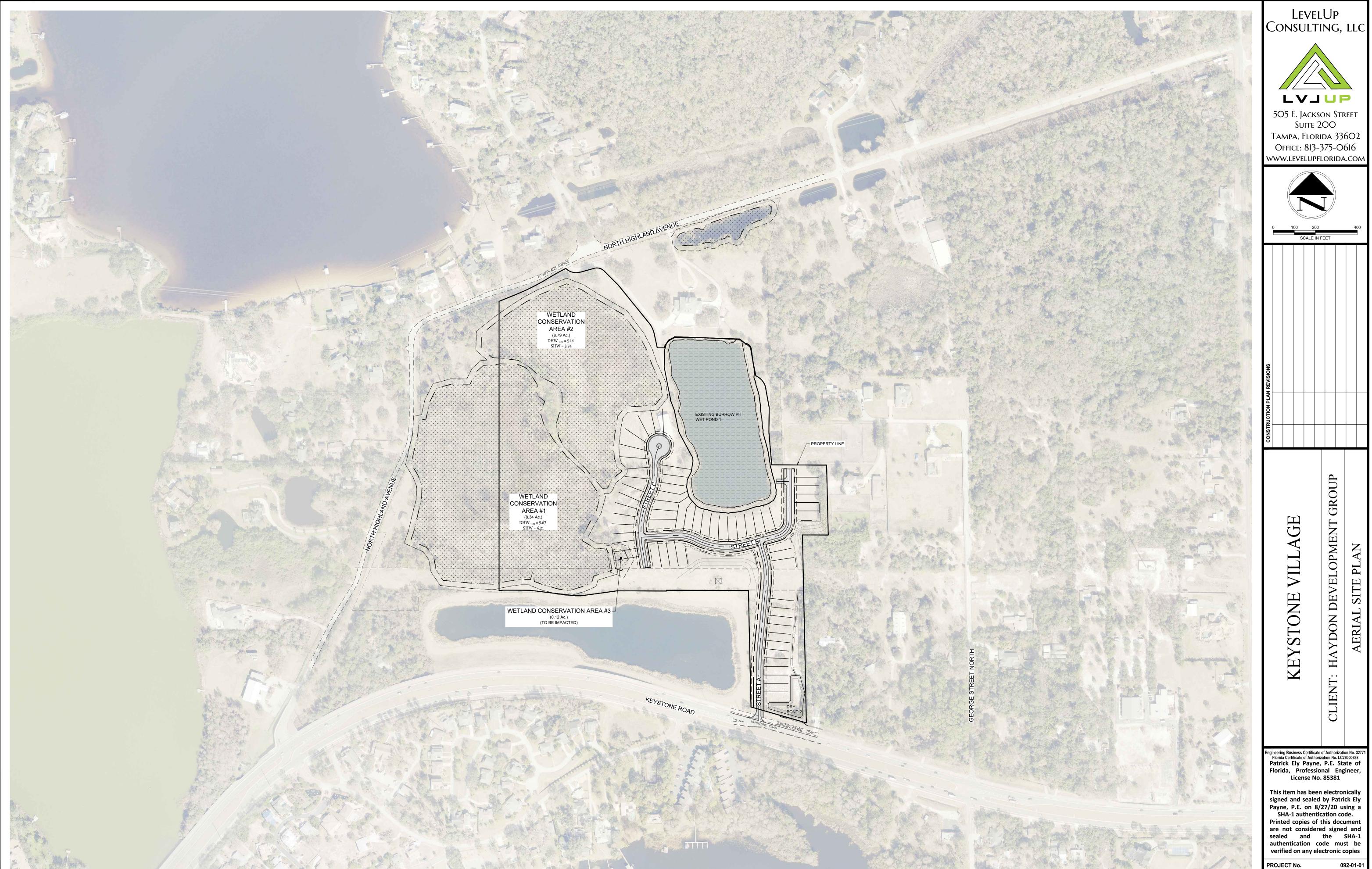
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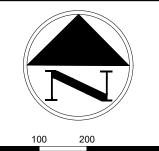
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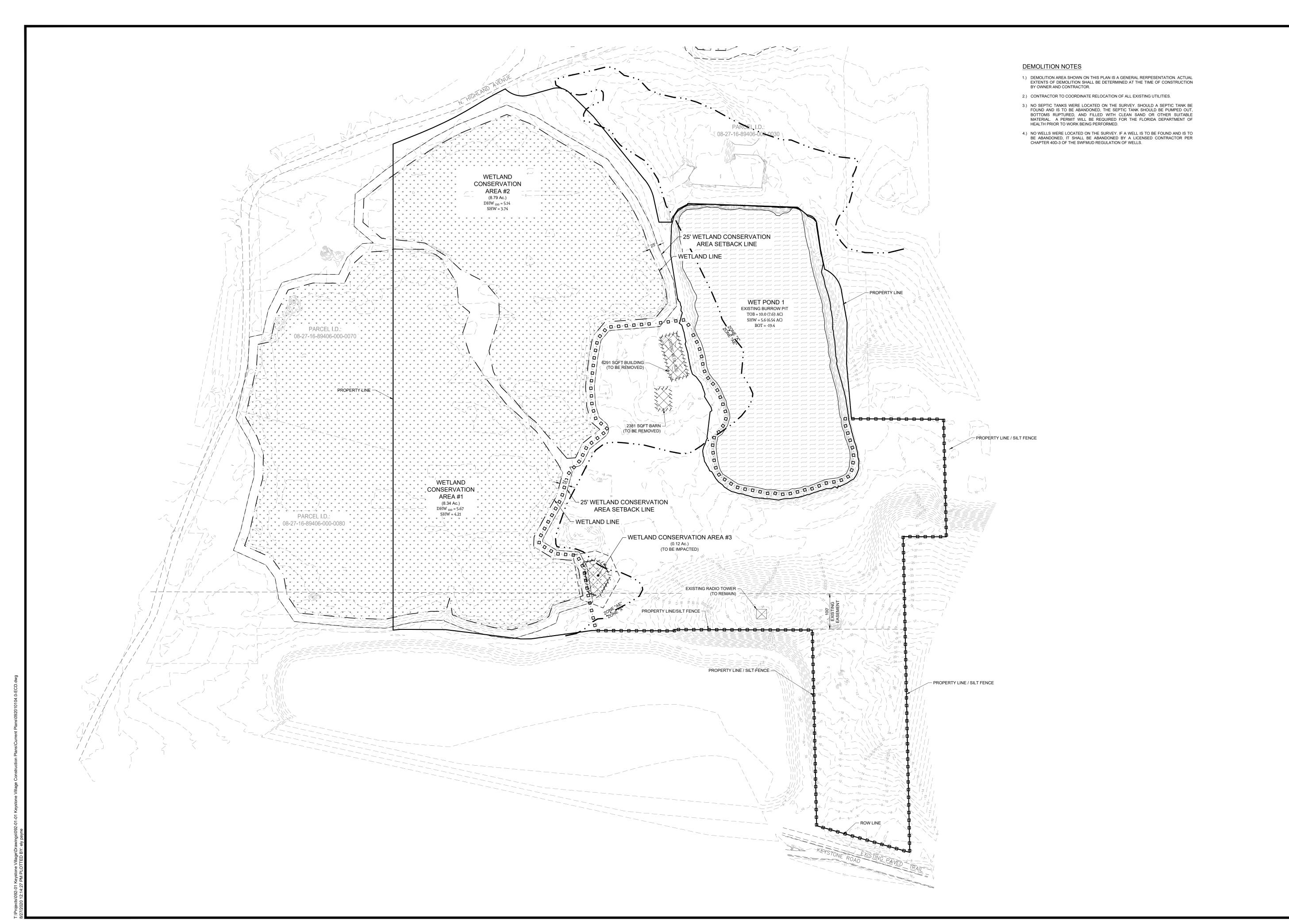


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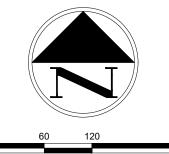
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SCALE IN FEET

ONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE

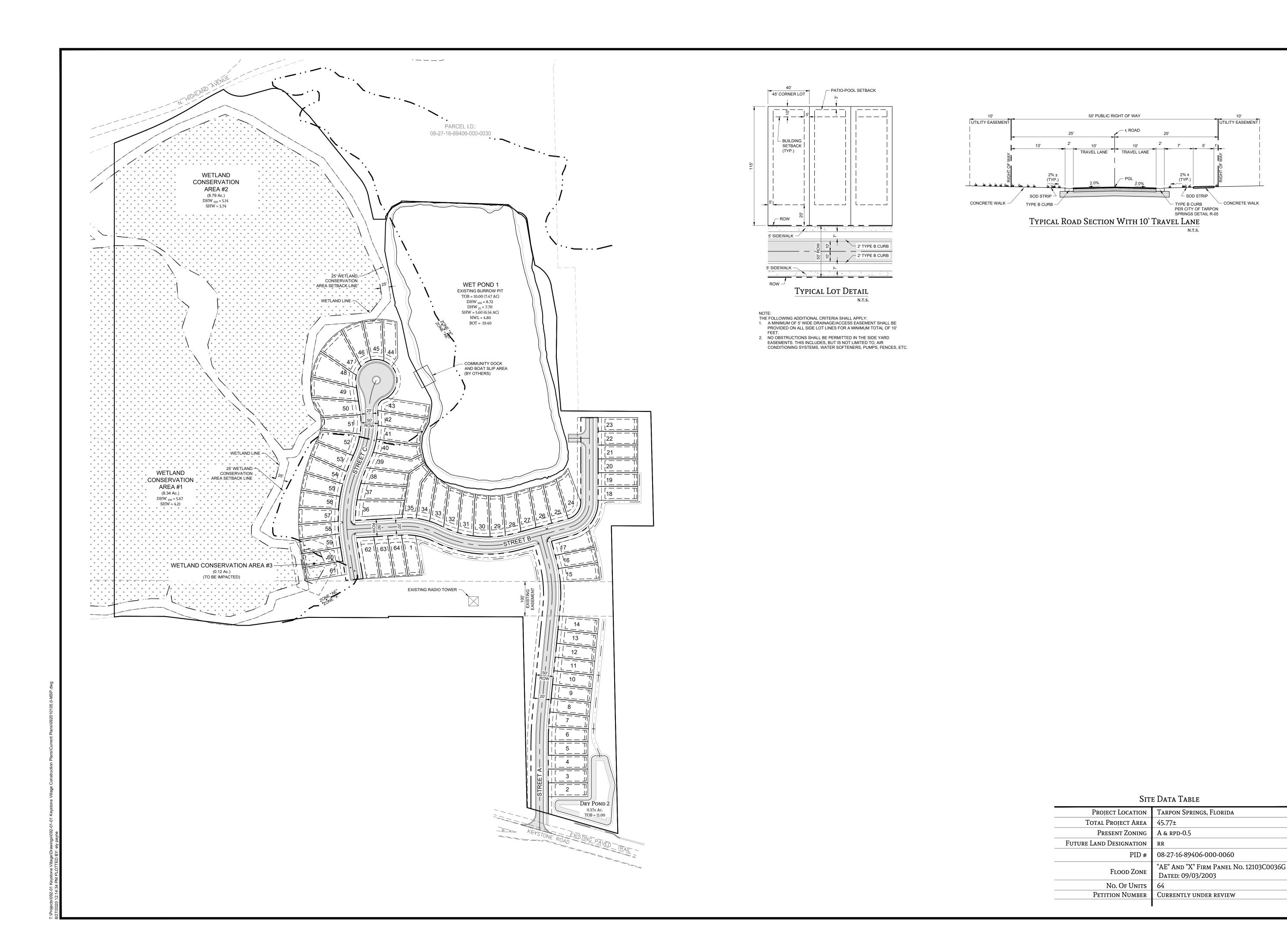
: HAYDON DEVELOPMENT GROUP

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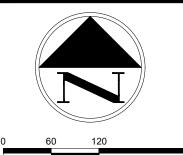
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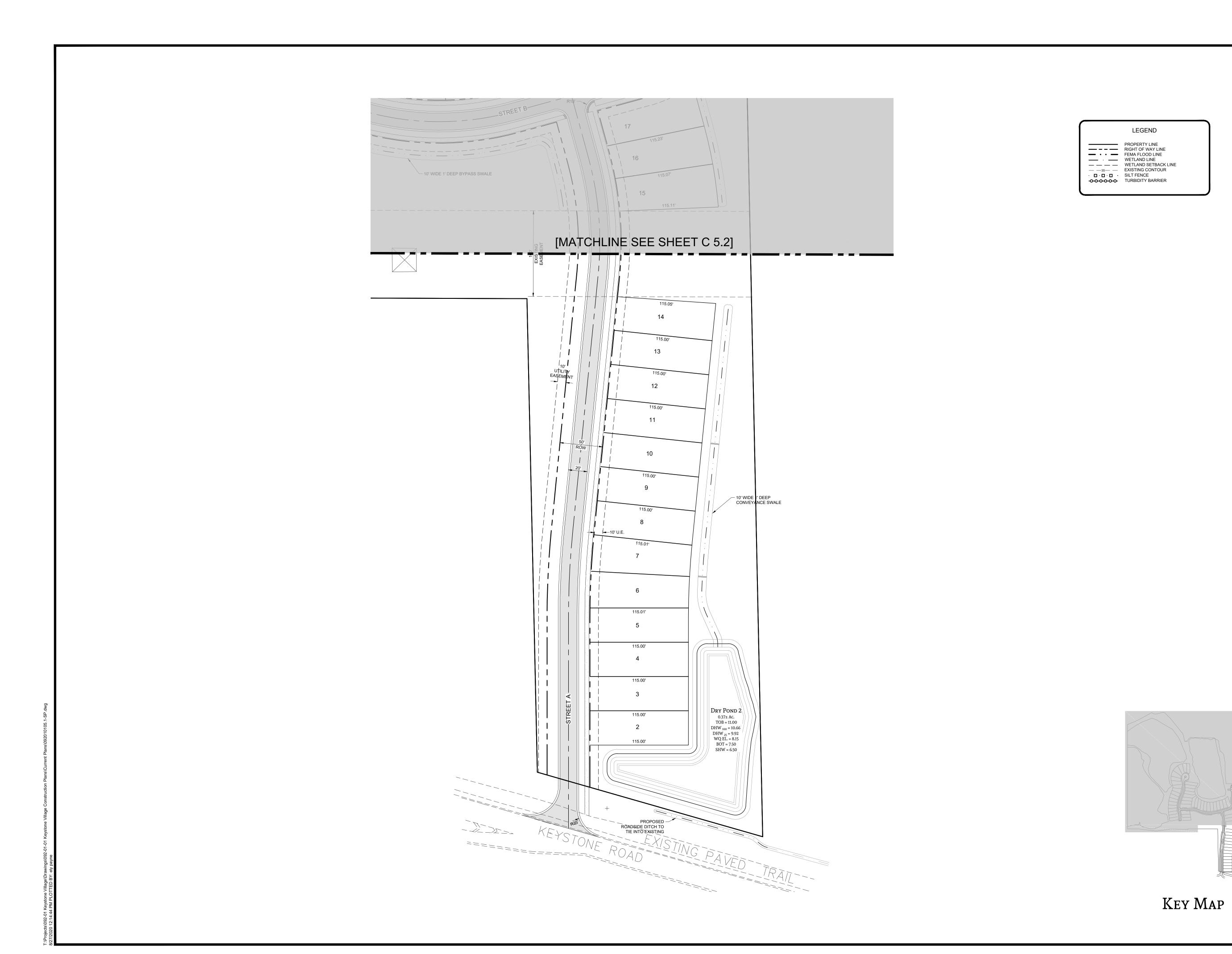
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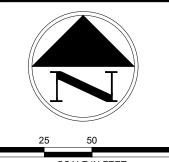




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CONSTRUCTION PLAN REVISIONS

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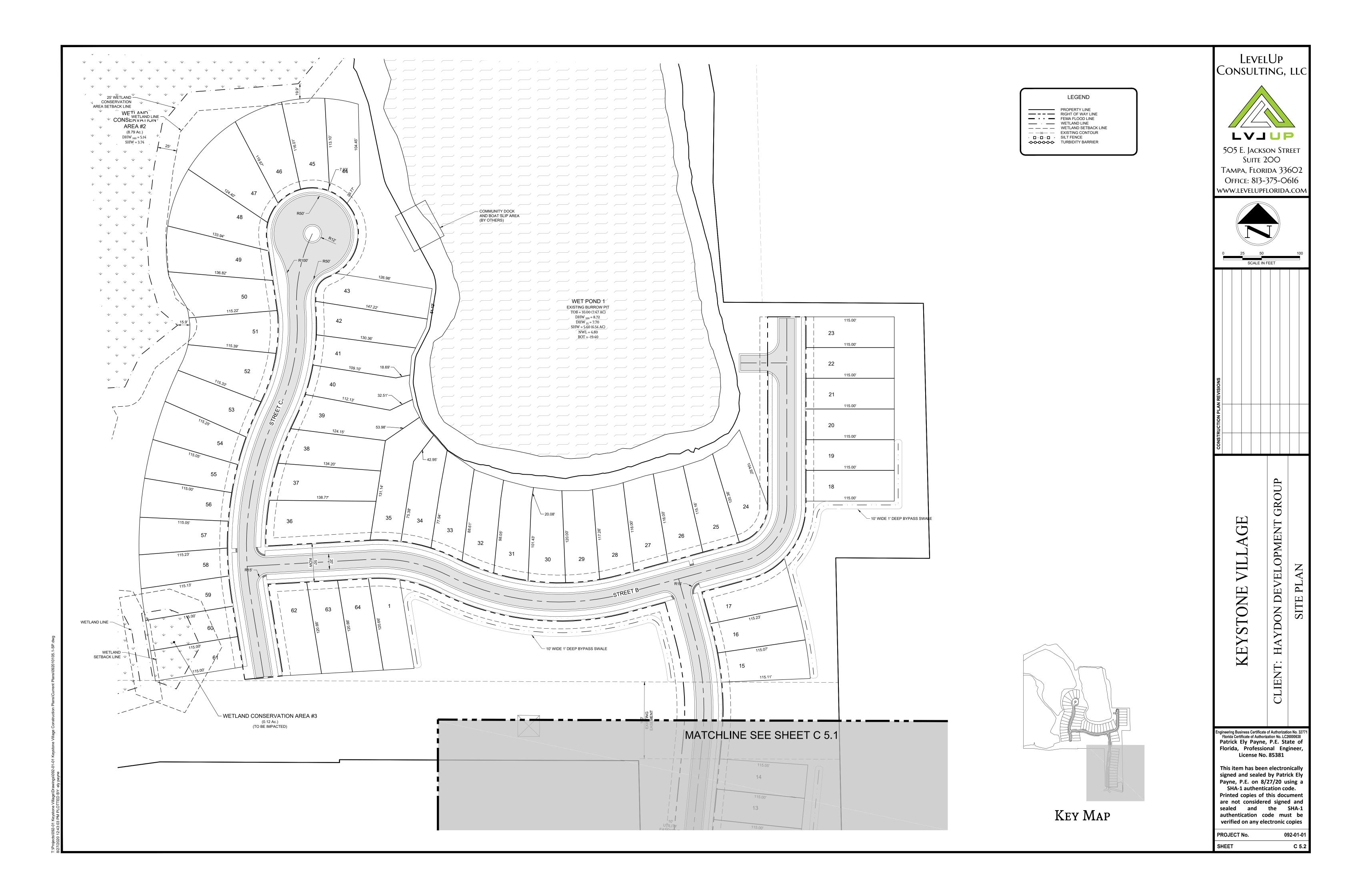
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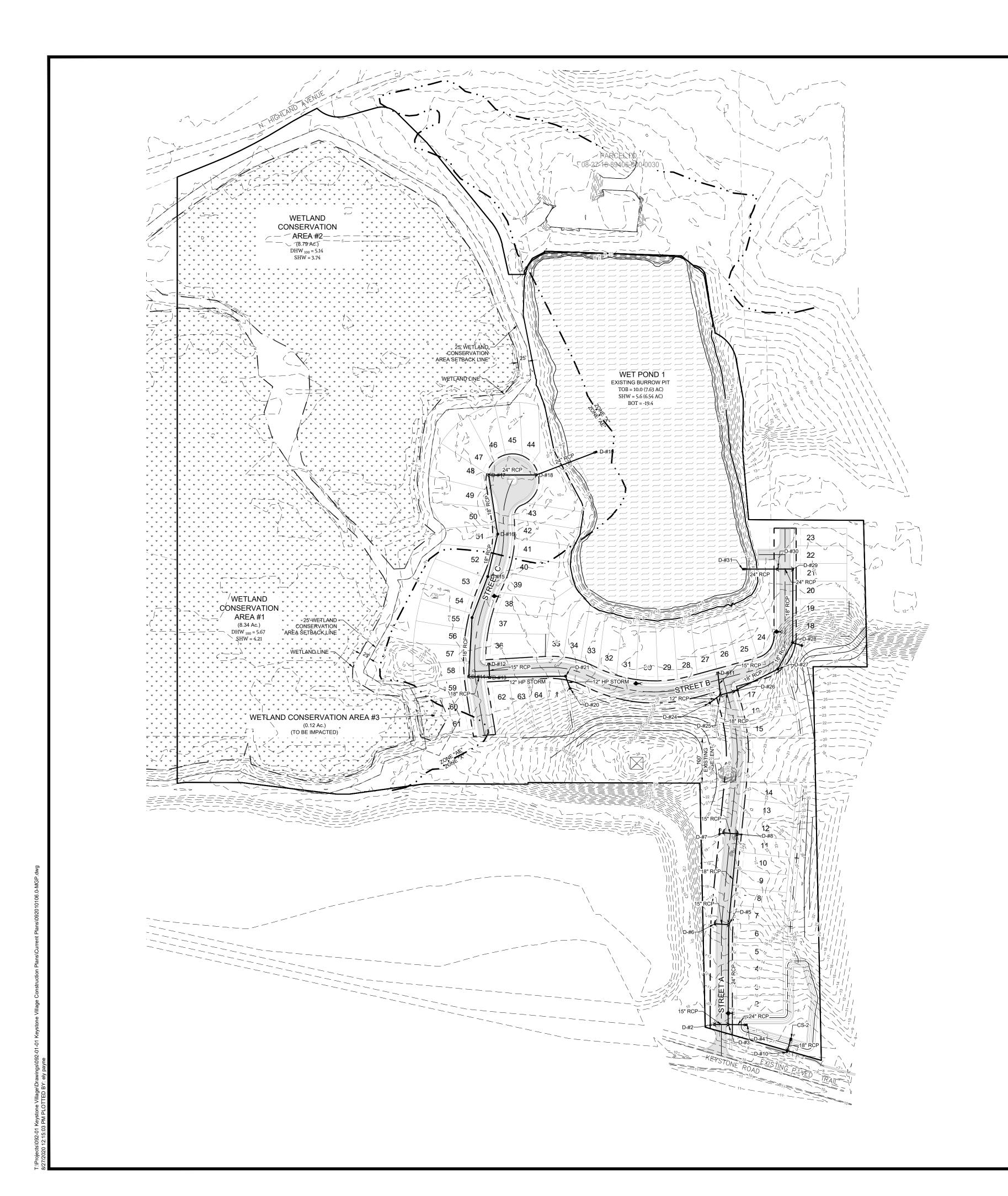
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NOTES

- THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE "X" AND "AE" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12103C0036G AND NO. 12103C0038G, (DATED AUGUST 3, 2005)
- PAD GRADE PRIOR TO BUILDING CONSTRUCTION IS FINISHED FLOOR
- PAD GRADE PRIOR TO BUILDING CONSTRUCTION SHALL EXTEND 5' BEYOND BUILDING/SIDEWALK PERIMETER.
- MINIMUM SLOPE FOR SIDE YARD SWALE SHALL BE 1%. SLOPES ARE INDICATED IN AREAS WHERE MIN. SLOPE IS NOT ATTAINED.
- ALL GRADES ARE TO TOP OF SOD.

LOT GRADING TYPE "A" ALL DRAINAGE TO STREET

LOT GRADING TYPE "B"

DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

- ALL POND MAINTENANCE BERMS AND SIDE SLOPES TO BE GRASSED AND MULCHED
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE RELATIVE TO THE NATIONAL GEODETIC SURVEY BENCHMARK "H" HAVING A PUBLISHED ELEVATION OF 22.25 FEET (NAVD 88). NO STRUCTURES OR MECHANICAL EQUIPMENT SHALL BE PLACED OR ENCROACH IN DRAINAGE EASEMENTS.

LEGEND

RIGHT OF WAY LINE FEMA FLOOD LINE WETLAND LINE
WETLAND SETBACK LINE
SILT FENCE
SILT FENCE ••••• TURBIDITY BARRIER

PAD 72.1
F.F.E. 72.8
B
PROPOSED LOT GRADE
MIN. FINISHED FLOOR ELEV.
LOT TYPE 80.60 FINISHED GRADE RC-4 INLET RC-3 INLET MITERED END SECTION MANHOLE

GRATE INLET/CONTROL STRUCTURE

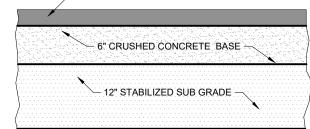
WETLAND / OSW AREA

 \sim 1 $\frac{1}{2}$ " TYPE SP-12.5 ASPHALTIC CONCRETE

(ASTM D-1557)

PAVEMENT DESIGN

LAYER TYPE	STRUCTURAL COEFFICIENT	PROPOSED THICKNESS (IN)	SN			
TYPE SP-12.5 ASPHALTIC CONCRETE	0.44	1.5	0.66			
CRUSHED CONCRETE BASE (MIN. 150 LBR)	0.15	6.00	0.90			
STABILIZED SUBGRADE (LBR 40 / 98% MOD. PROCTOR)	0.08	12.00	0.96			
TOTAL PROPOSED SN			2.52 - OK			
MINIMUM ALLOWED SN FOR LOCAL ROAD			2.30			



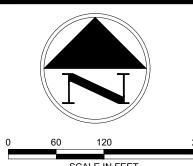
MATERIAL NOTES:

- 6" CRUSHED CONCRETE BASE, LBR 150 PRIMED AND COMPACTED TO 100% OF MAX. DENSITY (DETERMINED BY AASHTO T-180)
- 2. 12" STABILIZED SUBGRADE, MIN. LBR 40, COMPACTED TO 98% MOD. PROCTOR MAX. DRY DENSITY
- 3. WHEN NO CURB IS PROPOSED BASE TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT. 4. PAVEMENT DESIGN AND CONSTRUCTION TO COMPLY WITH CITY OF TARPON SPRINGS DETAIL R-02
- Typical Paving Section (Local Residential Road) Scale: N.T.S.

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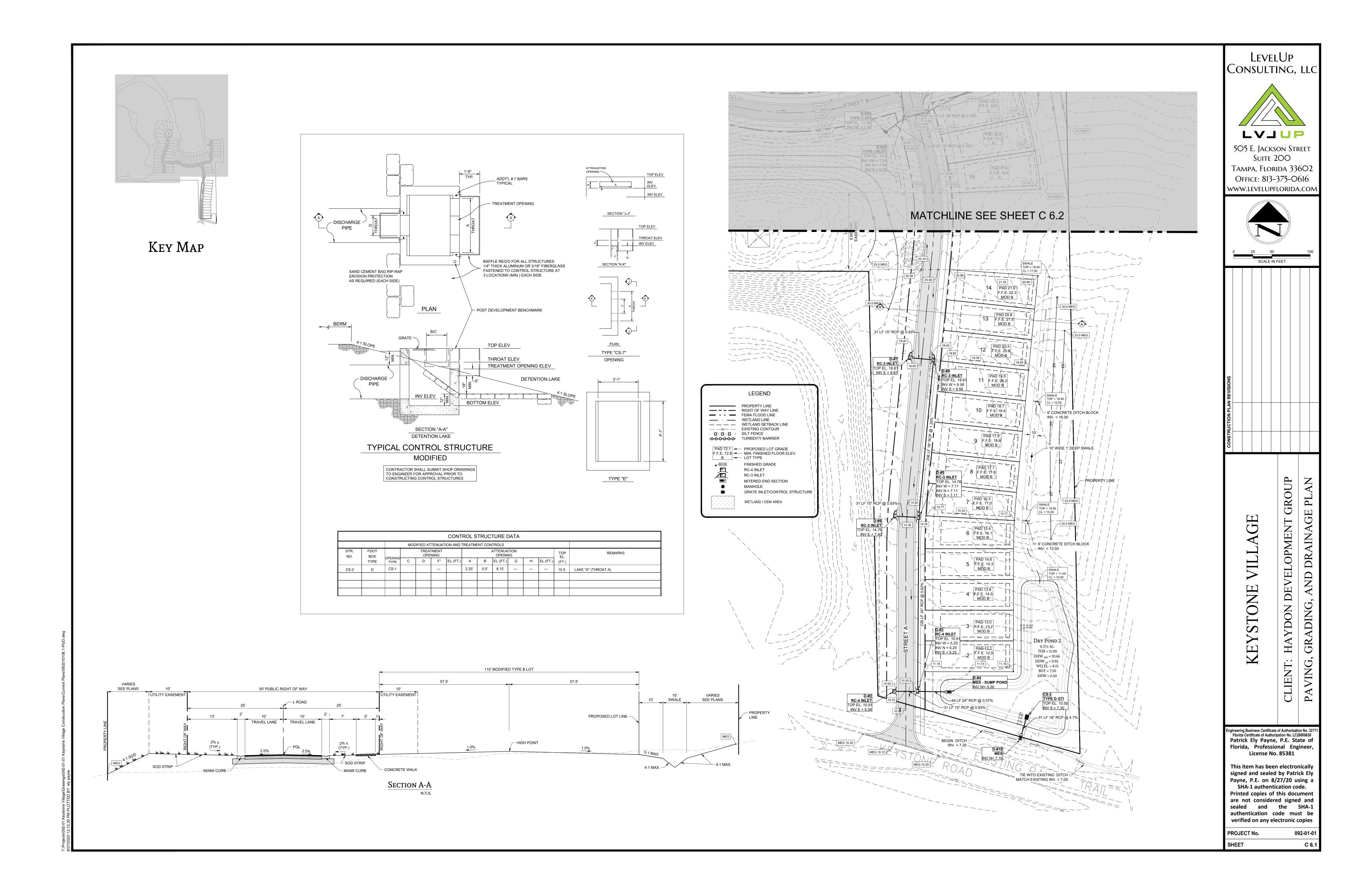
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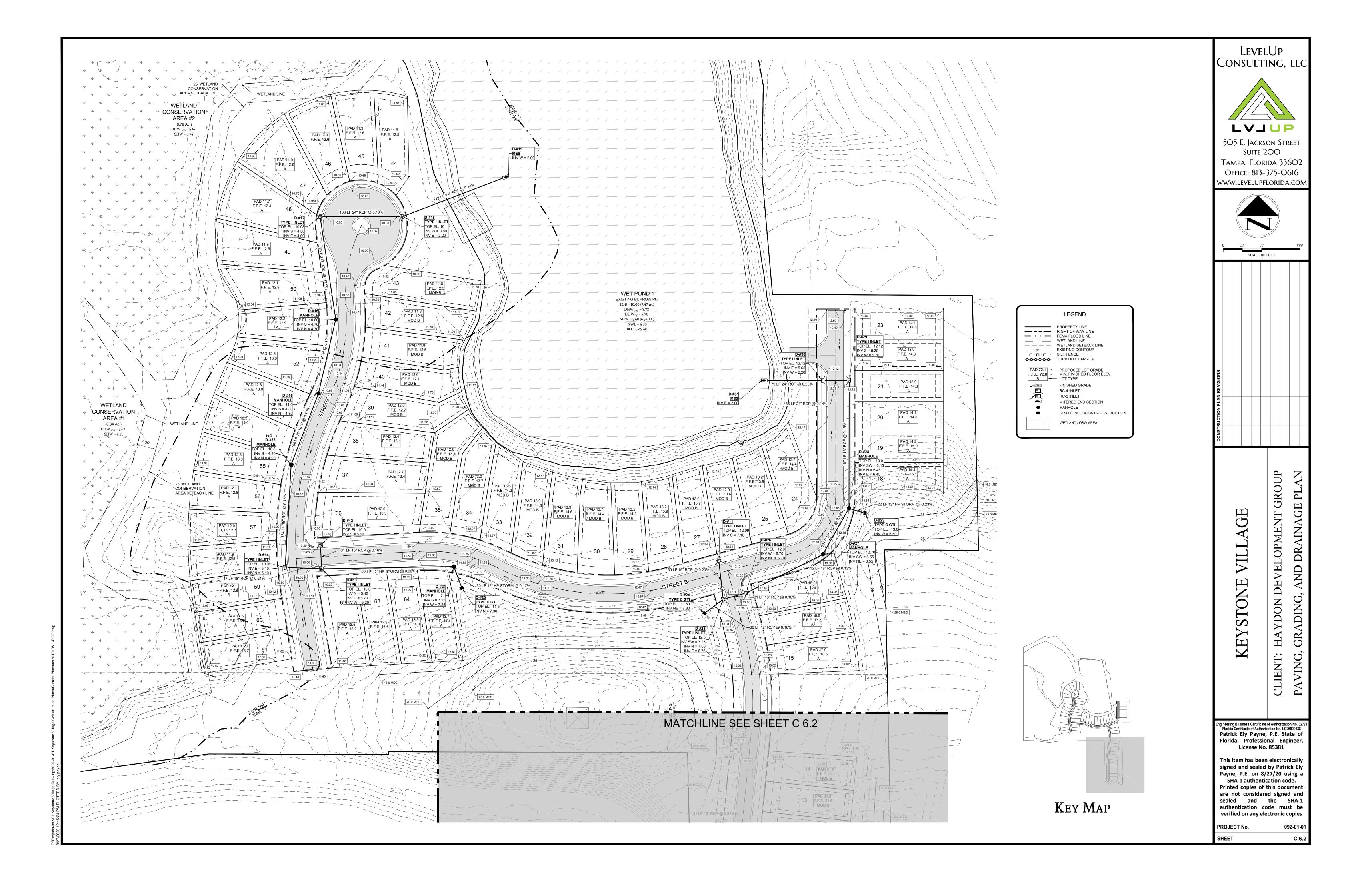
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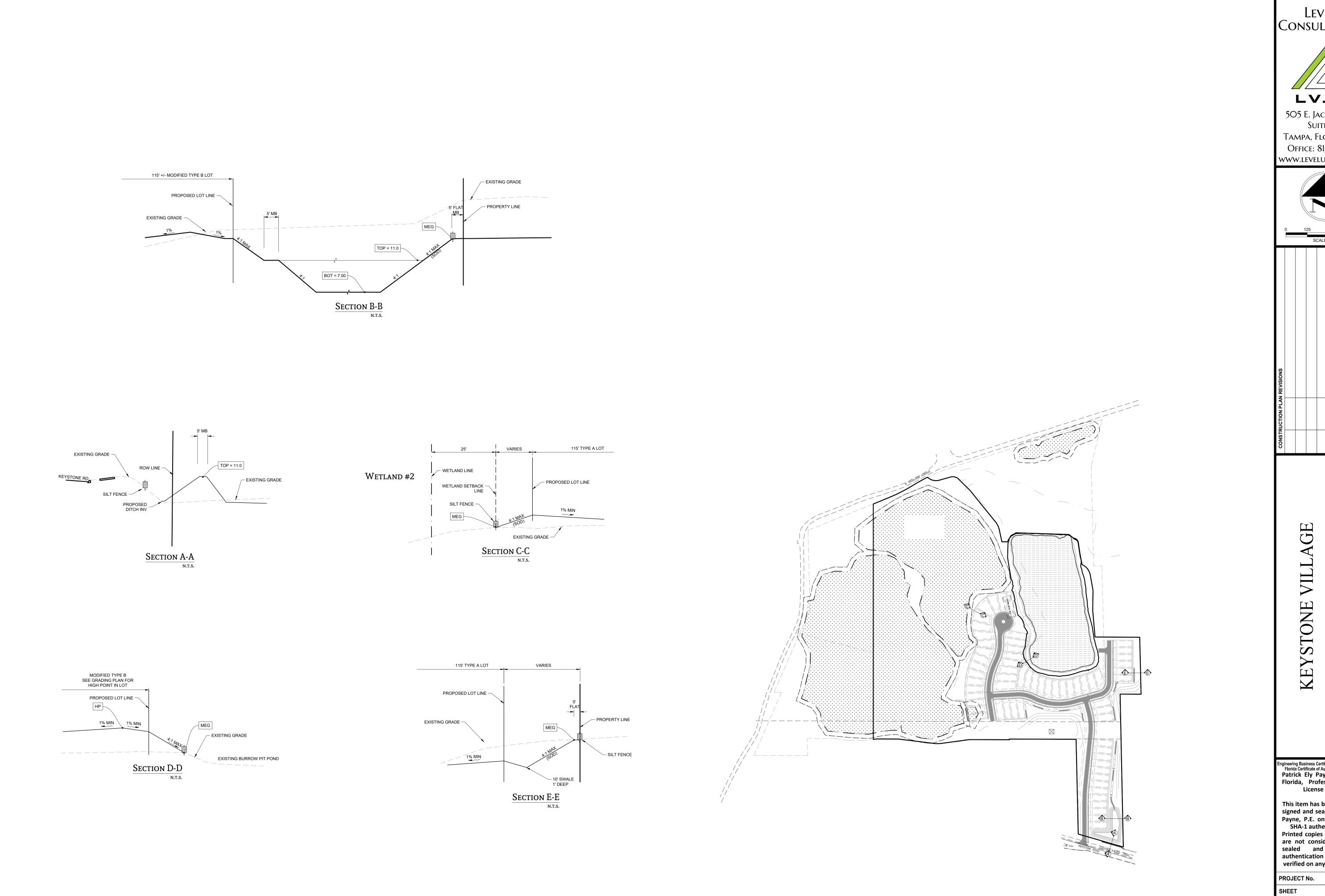
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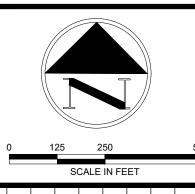


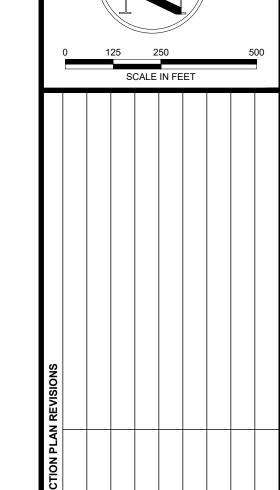


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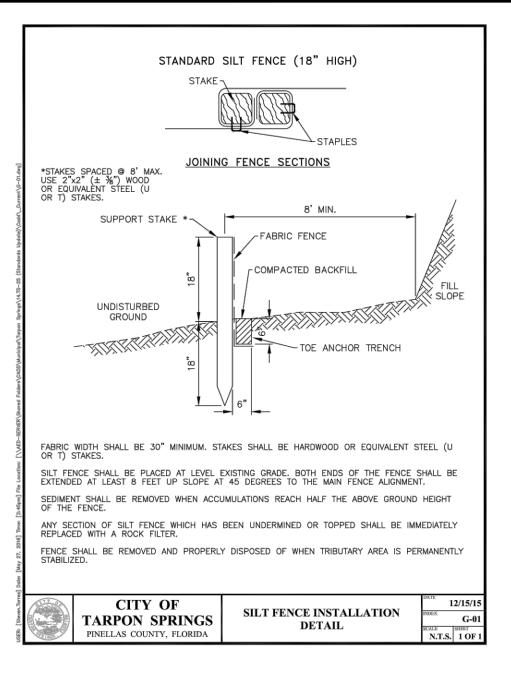


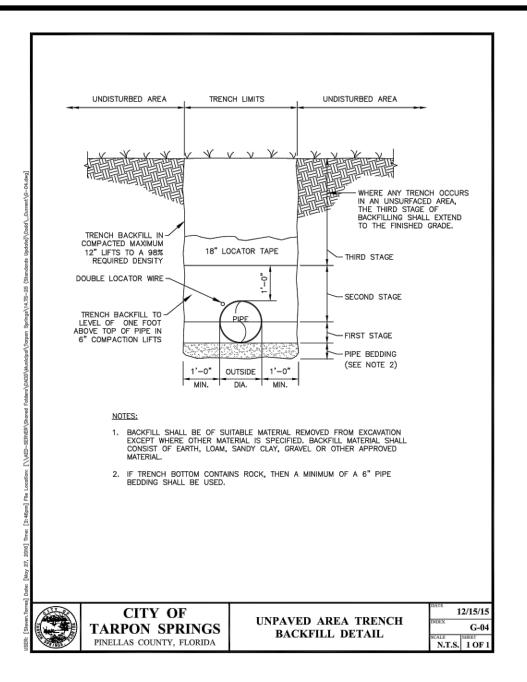
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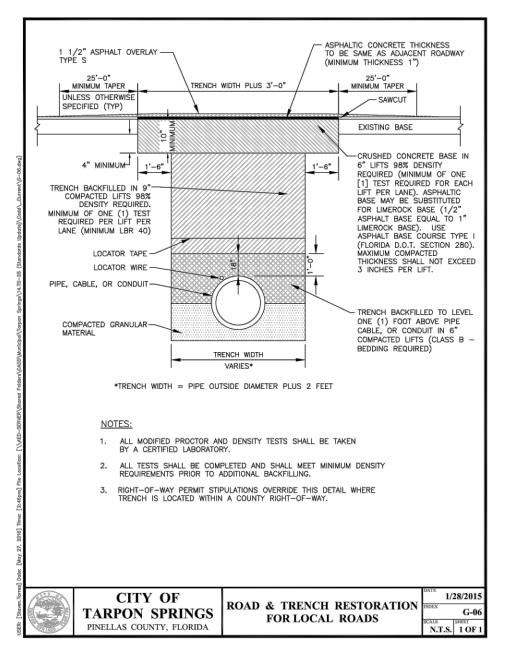
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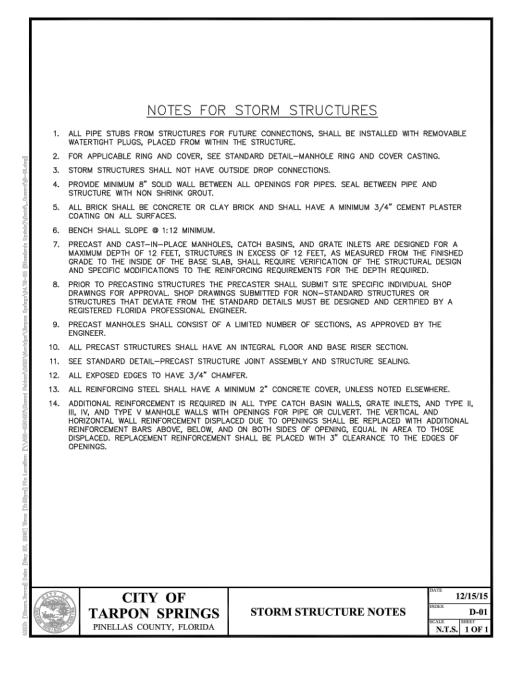
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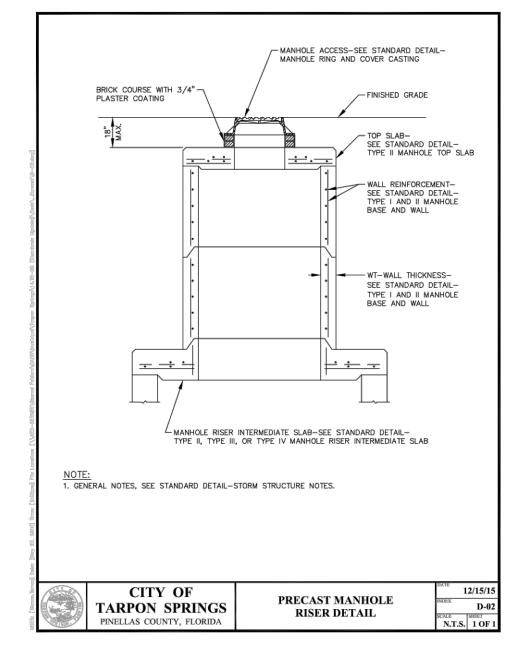
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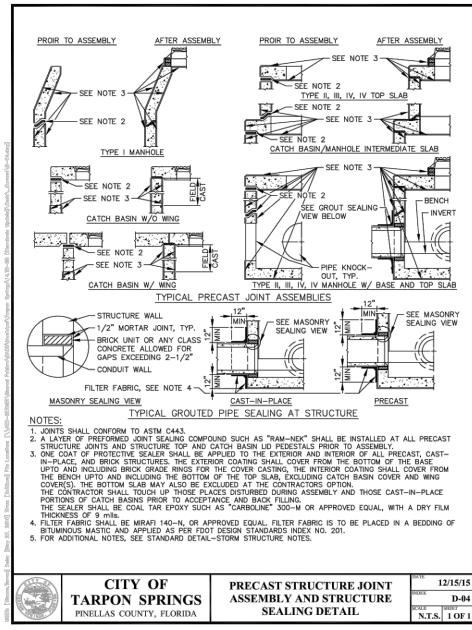


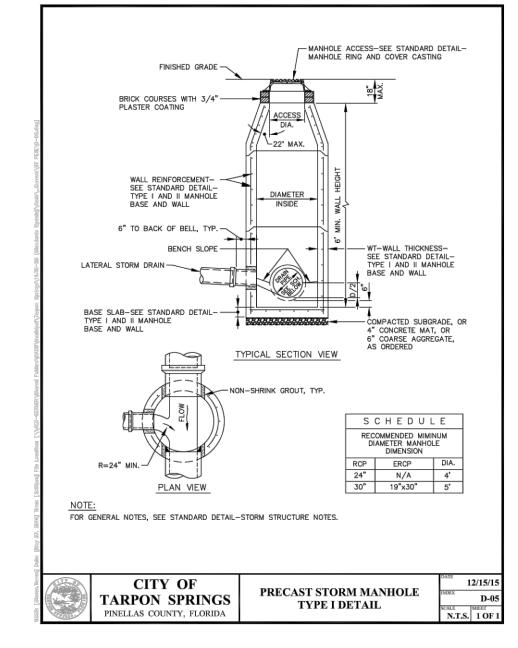


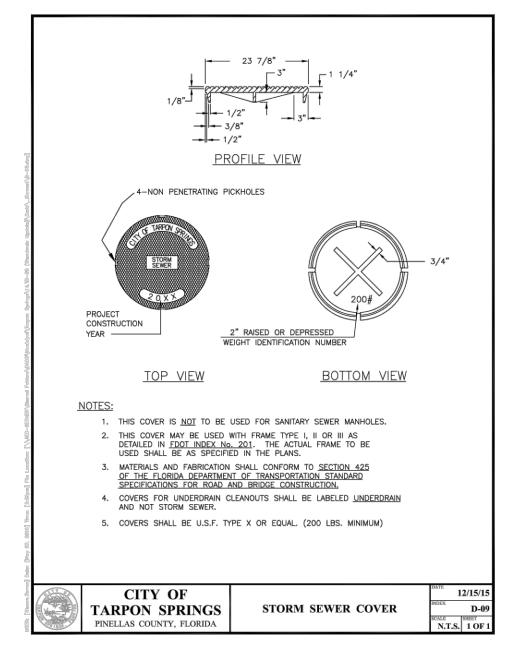


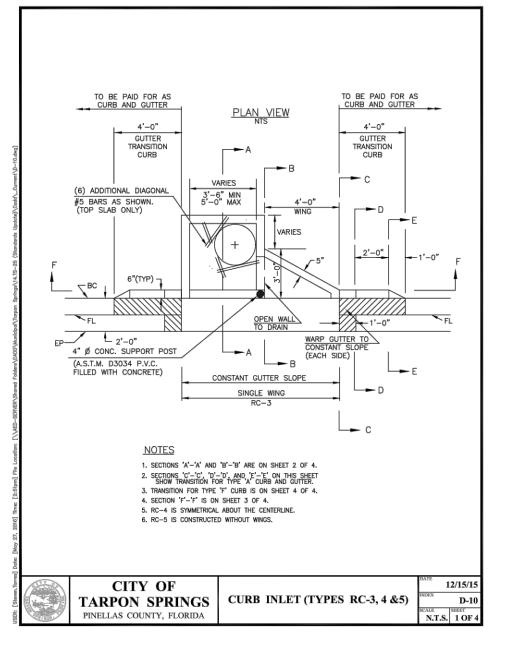


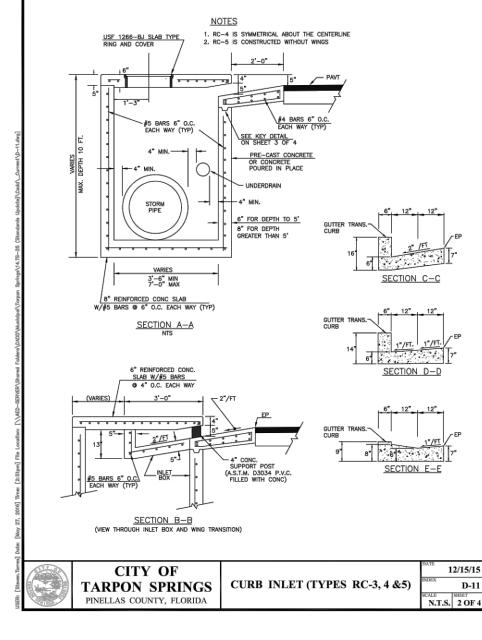


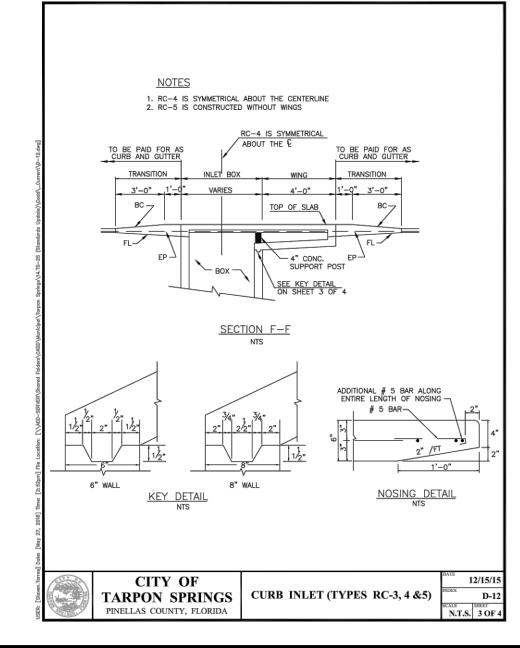


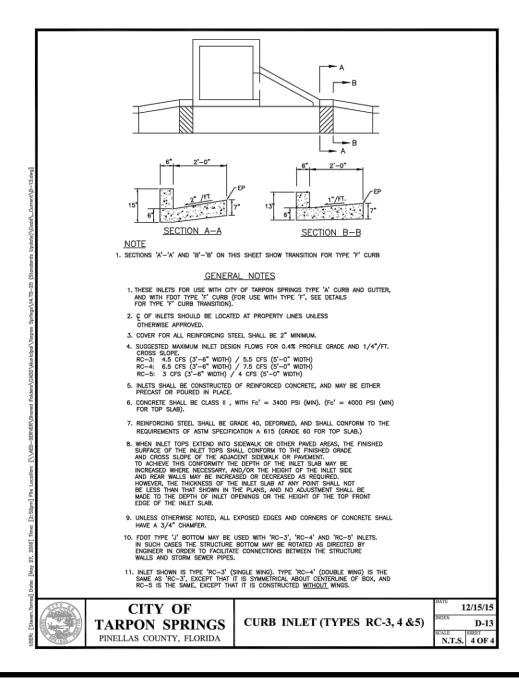


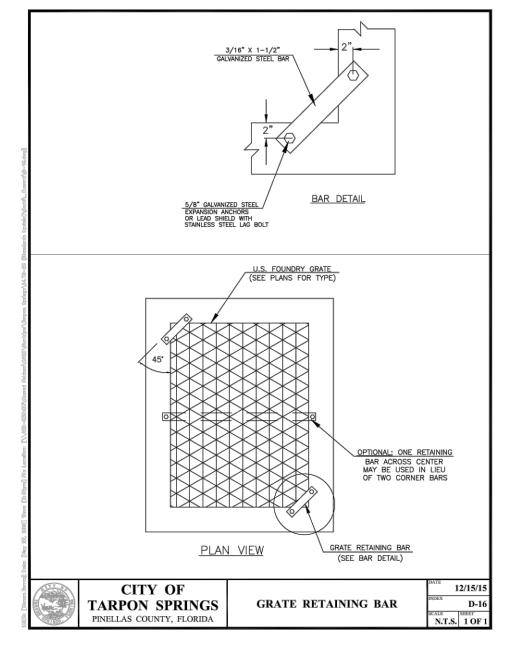


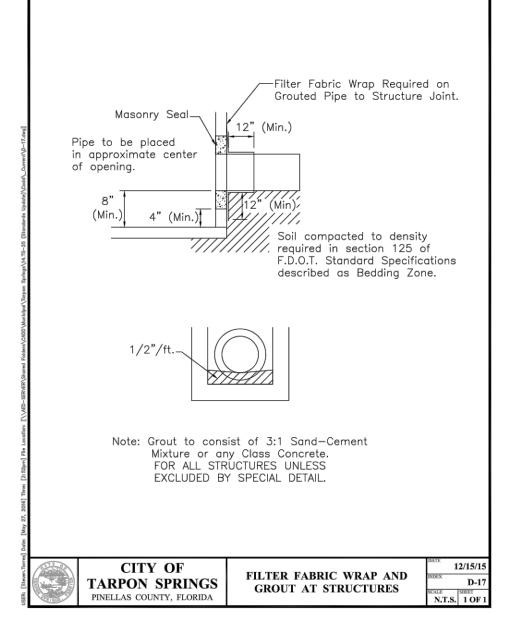


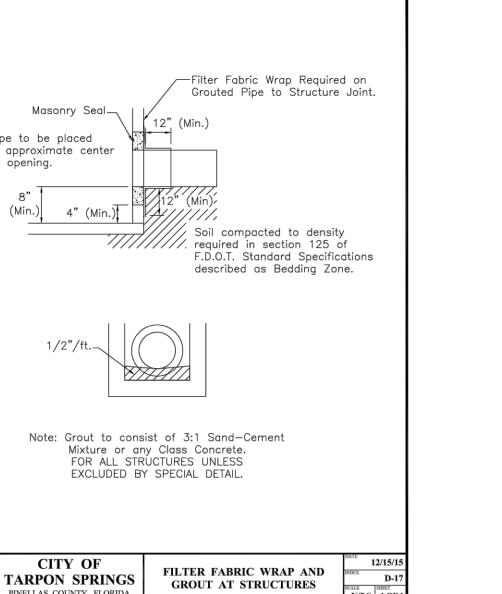












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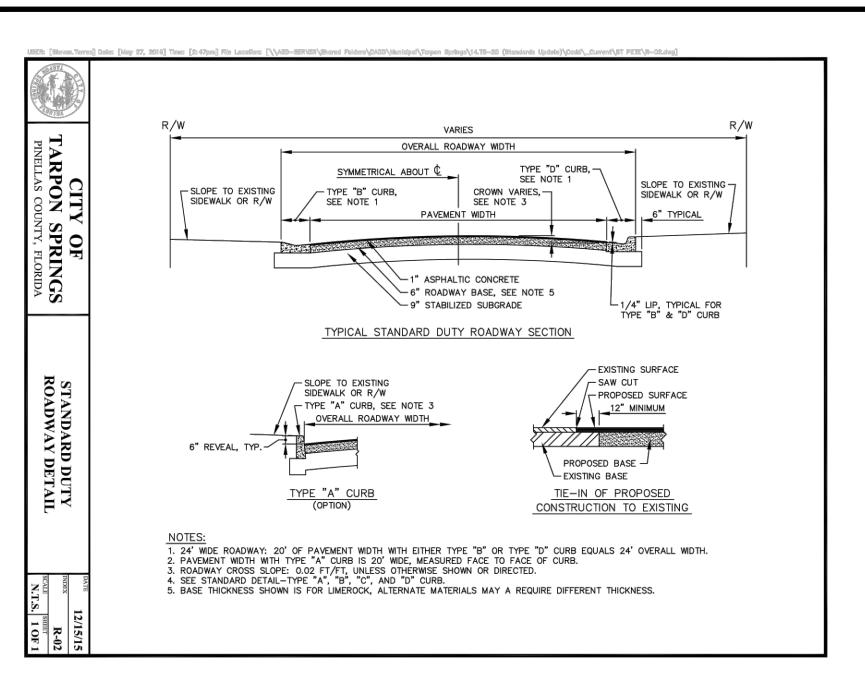
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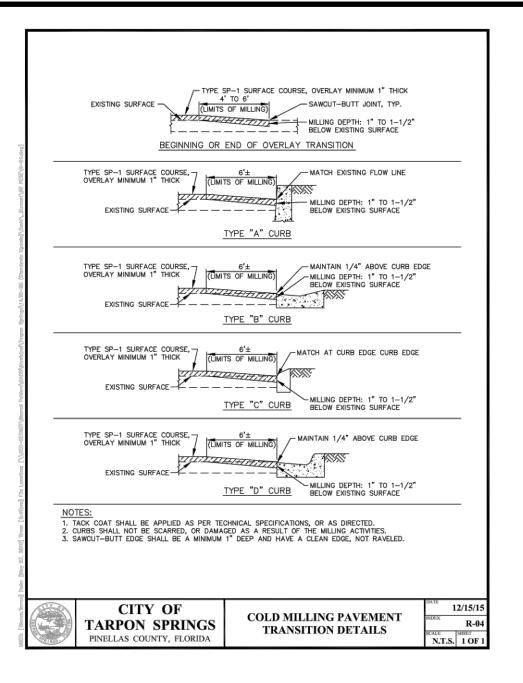
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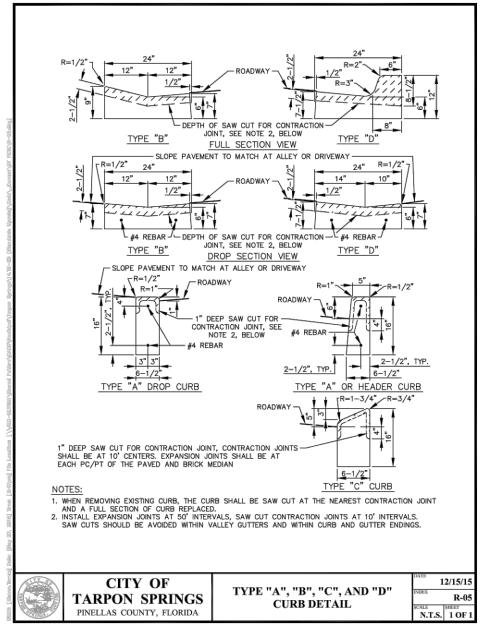
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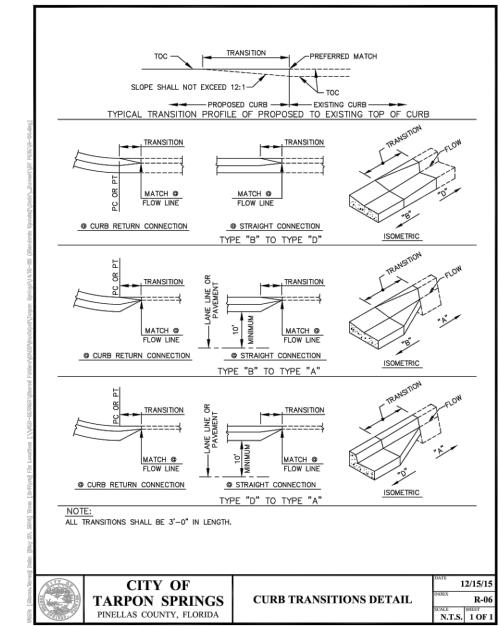
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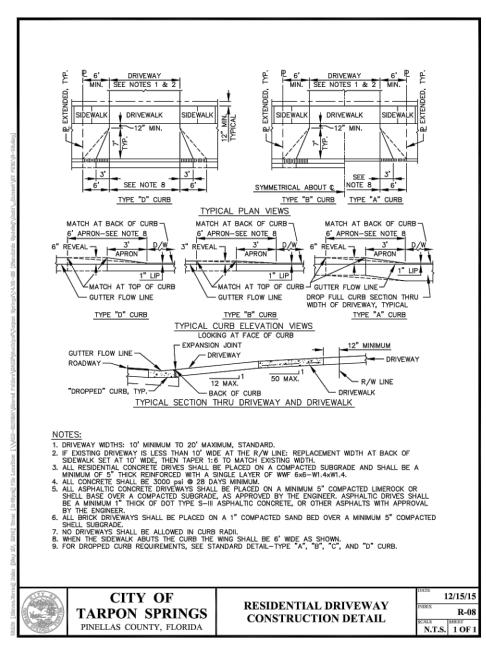
PROJECT No. 092-01-01 SHEET C 8.0

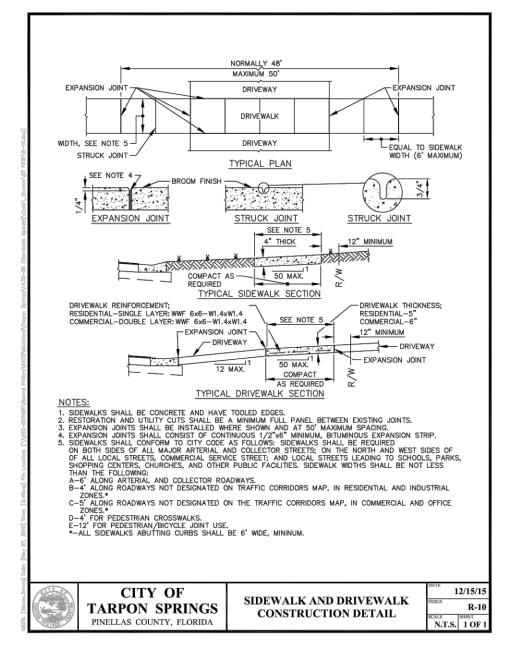


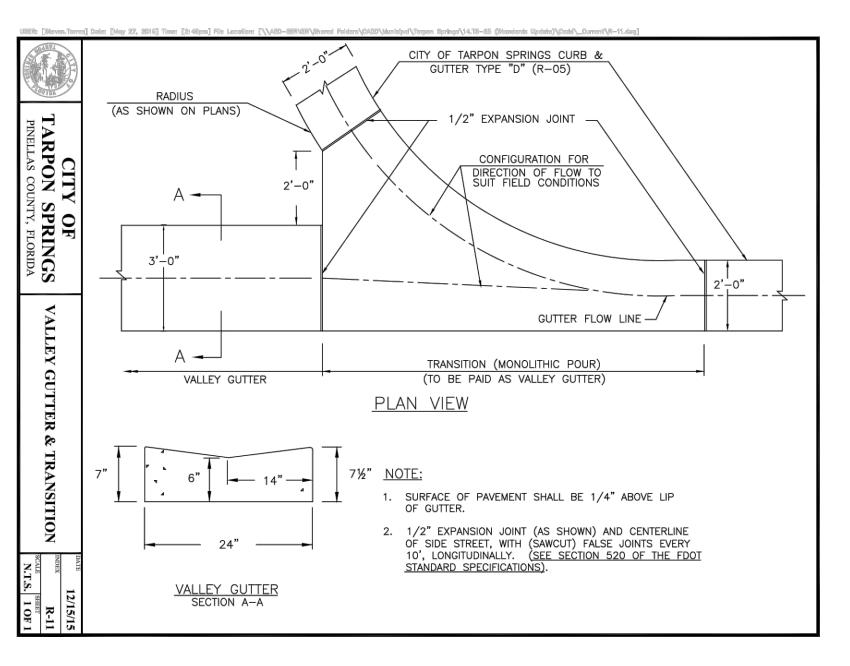


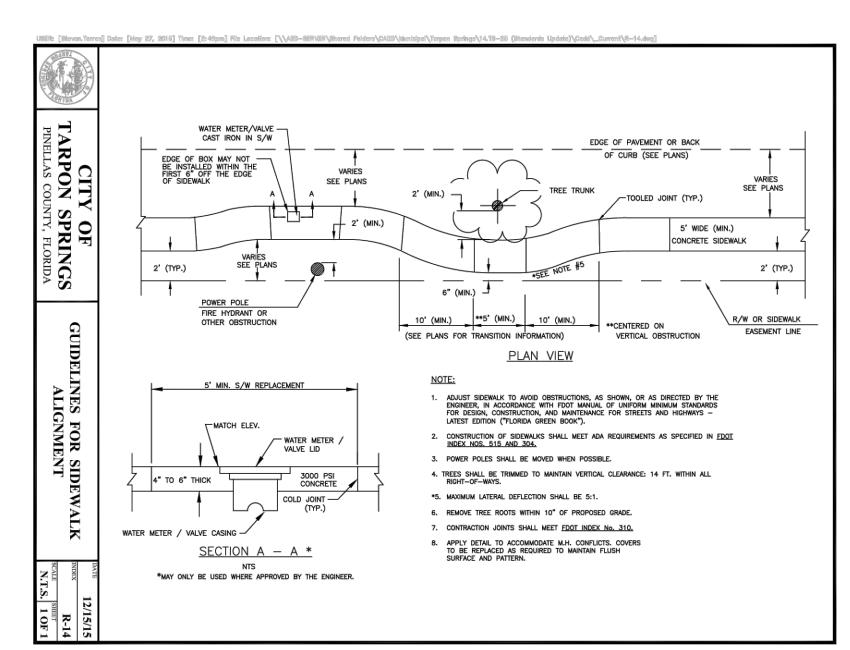


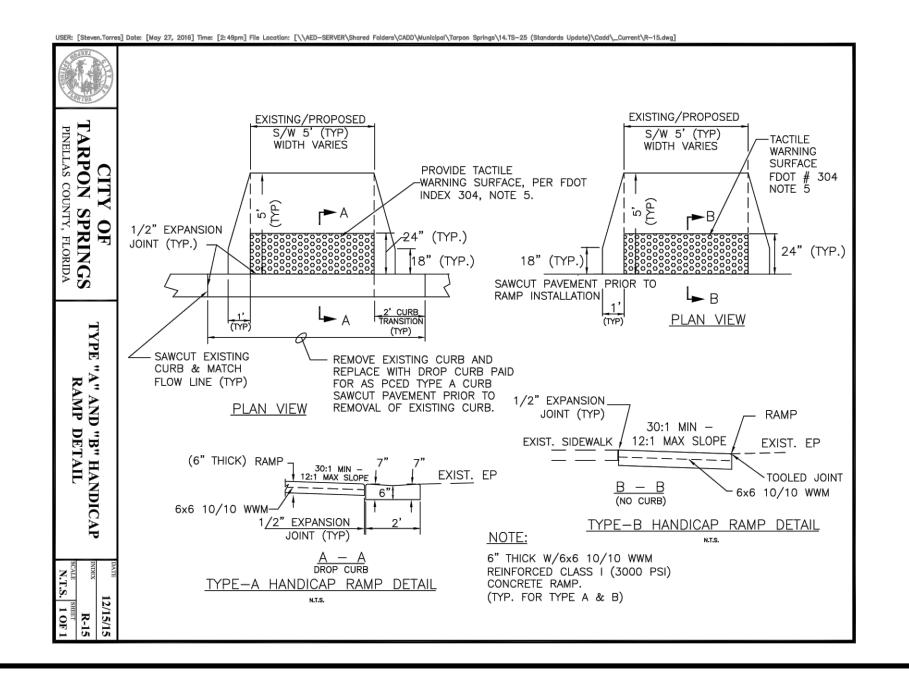












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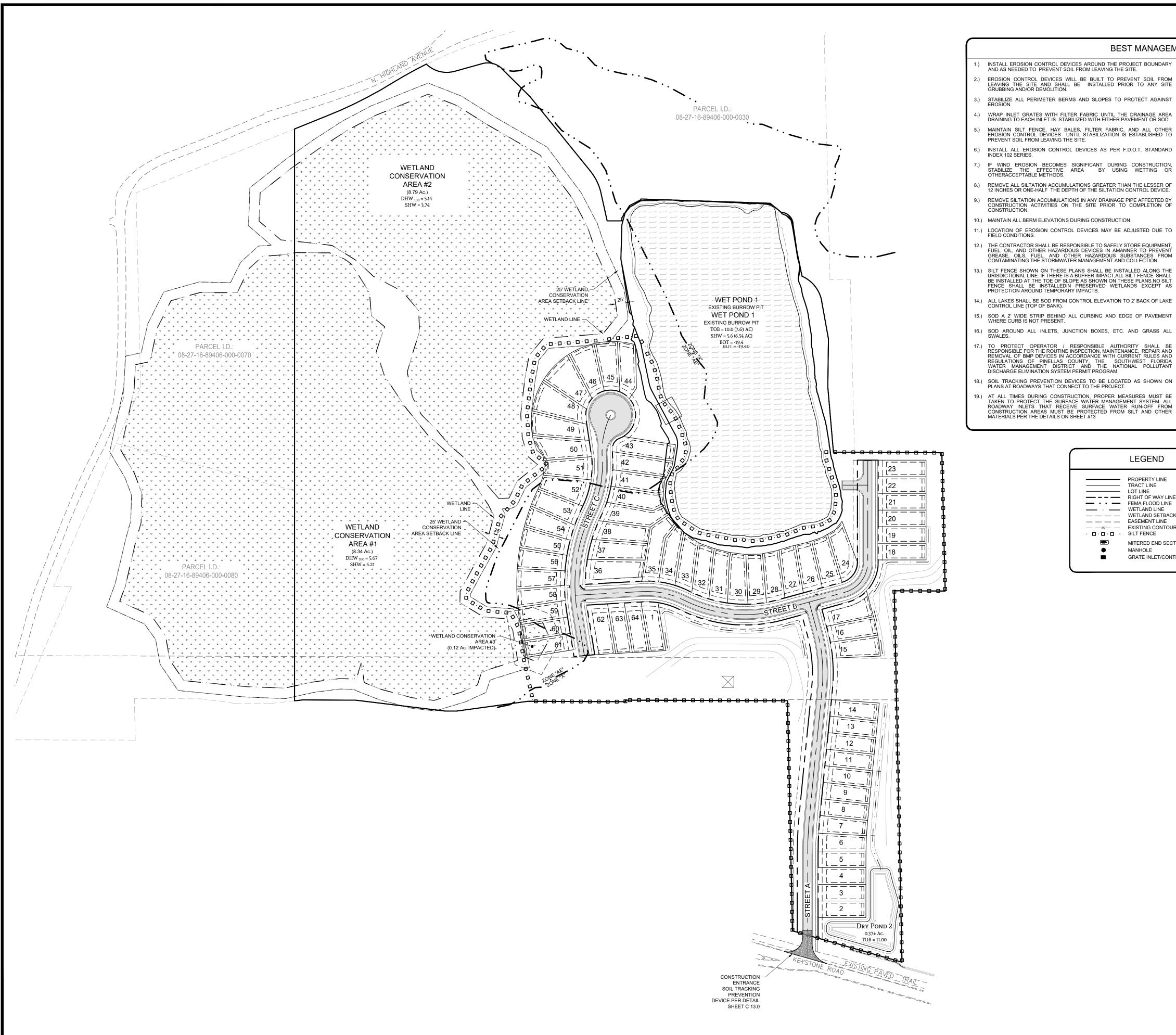
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BEST MANAGEMENT PRACTICES GUIDELINES

- AND AS NEEDED TO PREVENT SOIL FROM LEAVING THE SITE.
- EROSION CONTROL DEVICES WILL BE BUILT TO PREVENT SOIL FROM LEAVING THE SITE AND SHALL BE INSTALLED PRIOR TO ANY SITE GRUBBING AND/OR DEMOLITION.
- 3.) STABILIZE ALL PERIMETER BERMS AND SLOPES TO PROTECT AGAINST
- WRAP INLET GRATES WITH FILTER FABRIC UNTIL THE DRAINAGE AREA DRAINING TO EACH INLET IS STABILIZED WITH EITHER PAVEMENT OR SOD.
- MAINTAIN SILT FENCE, HAY BALES, FILTER FABRIC, AND ALL OTHER EROSION CONTROL DEVICES UNTIL STABILIZATION IS ESTABLISHED TO INSTALL ALL EROSION CONTROL DEVICES AS PER F.D.O.T. STANDARD INDEX 102 SERIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, STABILIZE THE EFFECTIVE AREA BY USING WETTING OR OTHER ACCEPTABLE METHODS
- 8.) REMOVE ALL SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SILTATION CONTROL DEVICE.
- REMOVE SILTATION ACCUMULATIONS IN ANY DRAINAGE PIPE AFFECTED BY CONSTRUCTION ACTIVITIES ON THE SITE PRIOR TO COMPLETION OF CONSTRUCTION.
- 10.) MAINTAIN ALL BERM ELEVATIONS DURING CONSTRUCTION. 11.) LOCATION OF EROSION CONTROL DEVICES MAY BE ADJUSTED DUE TO
-) THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL, AND OTHER HAZARDOUS DEVICES IN AMANNER TO PREVENT GREASE, OILS, FUEL, AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION.
- SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED ALONG THE URISDICTIONAL LINE. IF THERE IS A BUFFER IMPACT,ALL SILT FENCE SHALL
- BE INSTALLED AT THE TOE OF SLOPE AS SHOWN ON THESE PLANS.NO SILT FENCE SHALL BE INSTALLEDIN PRESERVED WETLANDS EXCEPT AS PROTECTION AROUND TEMPORARY IMPACTS. 14.) ALL LAKES SHALL BE SOD FROM CONTROL ELEVATION TO 2' BACK OF LAKE CONTROL LINE (TOP OF BANK).
- 15.) SOD A 2' WIDE STRIP BEHIND ALL CURBING AND EDGE OF PAVEMENT WHERE CURB IS NOT PRESENT.
-) TO PROTECT OPERATOR / RESPONSIBLE AUTHORITY SHALL BE RESPONSIBLE FOR THE ROUTINE INSPECTION, MAINTENANCE, REPAIR AND REMOVAL OF BMP DEVICES IN ACCORDANCE WITH CURRENT RULES AND REGULATIONS OF PINELLAS COUNTY, THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND THE NATIONAL POLLUTANT

DISCHARGE ELIMINATION SYSTEM PERMIT PROGRAM.

- 8.) SOIL TRACKING PREVENTION DEVICES TO BE LOCATED AS SHOWN ON PLANS AT ROADWAYS THAT CONNECT TO THE PROJECT.
- AT ALL TIMES DURING CONSTRUCTION, PROPER MEASURES MUST BE TAKEN TO PROTECT THE SURFACE WATER MANAGEMENT SYSTEM. ALL ROADWAY INLETS THAT RECEIVE SURFACE WATER RUN-OFF FROM CONSTRUCTION AREAS MUST BE PROTECTED FROM SILT AND OTHER MATERIALS PER THE DETAILS ON SHEET #13

- INSTALL EROSION CONTROL DEVICES AROUND THE PROJECT BOUNDARY 20.) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
 - a.) NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT.
 - b.) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH PINELLAS COUNTY CODE.
 - c.) A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH PINELLAS COUNTY CODE.
 - d.) THE SWPPP SHALL BE CERTIFIED AND A COPY OF THE CERTIFIED DOCUMENT SHALL BE SUBMITTED TO WATER RESOURCES AT LEAST 48 HOURS PRIOR TO THE
 - COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH PINELLAS COUNTY
 - e.) A COPY OF THE SWPPP AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS PER PINELLAS COUNTY CODE.
 - 21.) THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR TO ANY PORTION OF THE MS4 WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP).PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.
 - 22.) DEWATERING DISCHARGES SHALL BE DIRECTED TO ONSITE WET DETENTION LAKES UNLESS OTHERWISE APPROVED BY S.W.F.W.M.D.
 - 23.) EROSION AND SEDIMENTATION CONTROL BMPS IN ADDITION TO THOSE PRESENTED ON THE PLANS AND OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN (ECP) OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFFSITE STORMWATER CONVEYANCES, OR OFFSITE RECEIVING WATERS, BMPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE. ROJECT NECESSARY TO ENSURE COMPLIANCE.
 - OFF SITE SURFACE WATER DISCHARGES WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTUS) ABOVE BACKGROUND LEVEL SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO PINELLAS COUNTY EPC WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
 - THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE (62-296.320(4)(c)1, F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED
 - 26.) FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO PINELLAS COUNTY EPC AT(PH: 813-627-2600: FAX:813-627-2601). SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL. SHALLBE CLEANED UP AS SOON AS PRACTICAL.
 -) IF CONTAMINATED SOIL OR AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND PINELLAS COUNTY EPC SHALL BE CONTACTED AT (PH; 813-627-260; FAX: 813-627-2601).
 -) PRIOR TO THE START OF CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE, PINELLAS COUNTY STORMWATER MANAGEMENT SHALL BE CONTACTED AT (813) 307-1868 FOR A SOIL EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.
 - 29.) PROVIDE MEASURES TO CONTROL DUST GENERATION, AND MOVEMENT.

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PROPERTY LINE

TRACT LINE — LOT LINE RIGHT OF WAY LINE FEMA FLOOD LINE

LEGEND

MANHOLE GRATE INLET/CONTROL STRUCTURE

GENERAL NATURAL RESOURCE NOTES

1. IMPACTS TO STATE AND FEDERALLY PROTECTED SPECIES AS LISTED IN THE MOST CURRENT VERSION OF "FLORIDA'S ENDANGERED SPECIES, THREATENED SPECIES AND SPECIES OF SPECIAL CONCERN: OFFICIAL LISTS" PREPARED BY THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWC) ARE NOT AUTHORIZED BY THIS PERMIT. THESE SPECIES MAY INCLUDE, BUT ARE NOT LIMITED TO, FLORIDA SCRUB JAY, AMERICAN BALD EAGLE, SHERMAN'S FOX SQUIRREL, BURROWING OWL, GOPHER TORTOISE, GOPHER FROG, AND EASTERN INDIGO SNAKE. PROTECTION EXTENDS TO THE NESTS, BURROWS AND HABITAT UTILIZED BY THESE SPECIES. IF A LISTED SPECIES (OR TIS EVIDENCE, SUCH AS BURROWS, NESTS, SCAT, TRACKS) THAT WAS NOT ADDRESSED IN THIS PERMIT IS OBSERVED PRIOR TO OR DURING CONSTRUCTION, ALL CLEARING AND EARTHMOVING ON-SITE SHALL CEASE. THE PERMITTEE SHALL CONSULT WITH THE FWC REGIONAL OFFICE AND/OR THE U.S. FISH AND WILDLIFE SERVICE REGIONAL OFFICE REGARDING NECESSARY PROTECTION MEASURES AND PROVIDE EVIDENCE OF SUCH CONSULTATION TO RESOURCE PROTECTION SERVICES PRIOR TO RESUMING WORK.

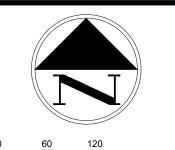
2. IF ANY TYPE A FILL (CLEAN EARTHEN MATERIAL) IS TO BE HAULED OFF-SITE, AN EARTHMOVING PERMIT OR LETTER OF EXEMPTION IS REQUIRED FROM RESOURCE PROTECTION SERVICES. IF ANY TYPE A FILL HAULED OFF-SITE IS TO BE STOCKPILED OR FILLED UPON PRIVATE PROPERTIES WITHIN THE UNINCORPORATED AREAS OF PINELLAS COUNTY, THE RECEIVING PROPERTY(S)SHALL POSSESS AUTHORIZATION IN THE FORM OF AN EARTHMOVING PERMIT, A WRITTEN EARTHMOVING EXEMPTION, A BUILDING PERMIT, OR CONSTRUCTION PLAN APPROVAL PRIOR TO RECEIVING SAID FILL. NO TYPE B (CONCRETE, BROKEN ASPHALT, ROCKS), TYPE C (VEGETATIVE LAND CLEARING DEBRIS), OR TYPE D (GARBAGE, REFUSE, WOOD, METAL, PLASTIC, ETC.) FILL MAY BE BURIED WITHIN OR OUTSIDE APPROVED CONSTRUCTION LIMITS. TYPE D FILL MUST BE DISPOSED AT AN APPROVED LANDFILL OR RECYCLING FACILITY. TYPE B, C, AND D FILLS GENERATED ON-SITE SHALL NOT BE STOCKPILED ON-SITE FOR GREATER THAN SIX MONTHS. TYPE B, C, AND D FILLS SHALL NOT BE HAULED TO THE SITE FROM OFF-SITE SOURCES. FOR INFORMATION ABOUT EARTHMOVING PERMITS OR EXEMPTIONS, CONTACT PINELLAS COUNTY. IF FILL MATERIAL IS TO BE STOCKPILED WITHIN THE PINELLAS COUNTY. IF FILL MATERIAL IS TO BE STOCKPILED WITHIN THE APPROVED CONSTRUCTION LIMITS, THE PROJECT ENGINEER MUST PROVIDE DETAILED DRAWINGS TO LAND DEVELOPMENT SERVICES FOR REVIEW AND

LEVELUP Consulting, LLC



505 E. Jackson Street Suite 200 Tampa, Florida 336O2 Office: 813-375-0616

WWW.LEVELUPFLORIDA.COM



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GROUP DEVELOPMENT YDON HA CLIENT:

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Engineering Business Certificate of Authorization No. 327 Florida Certificate of Authorization No. LC26000638 Patrick Ely Payne, P.E. State of Florida, Professional Engineer, License No. 85381

This item has been electronically signed and sealed by Patrick Ely Payne, P.E. on 8/27/20 using a SHA-1 authentication code. Printed copies of this document are not considered signed and sealed and the SHA-1 authentication code must be verified on any electronic copies

PROJECT No. 092-01-01

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