

SECTION 08, TOWNSHIP 27 SOUTH, RANGE 16 EAST
PINELLAS COUNTY, FLORIDA



SITE DATA TABLE	
PROJECT LOCATION	TARPON SPRINGS, FLORIDA
TOTAL PROJECT AREA	45.77±
PRESENT ZONING	A & RPD-0.5
FUTURE LAND DESIGNATION	RR
PID #	08-27-16-89406-000-0060
FLOOD ZONE	"AE" AND "X" FIRM PANEL No. 12103C0036G DATED: 09/03/2003
No. Of UNITS	64
PETITION NUMBER	CURRENTLY UNDER REVIEW

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PROJECT TEAM MEMBERS:

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[illegible]

Engineering Business Certificate of Authorization No. 32771
Florida Certificate of Authorization No. LC26000638

**Patrick Ely Payne, P.E. State of
Florida, Professional Engineer,
License No. 85381**

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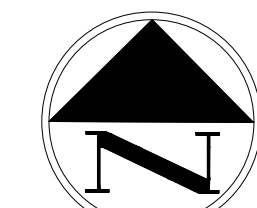


VERTICAL DATUM INFORMATION

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE RELATIVE TO THE NATIONAL GEODETIC SURVEY BENCHMARK "H" HAVING A PUBLISHED ELEVATION OF 22.25 FEET (NAVD 88)

<div>GENERAL NOTES</div> <div><div>1) THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER/ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.</div><div>2) ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.</div><div>3) ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.</div><div>4) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.</div><div>5) WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES, INCLUDING BUT NOT LIMITED TO DUKE ENERGY, VERIZON, BRIGHTHOUSE, TECO PEOPLE GAS AND THEIR SUBCONTRACTORS.</div><div>6) THE WATER, SANITARY SEWER AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY OF TARPON SPRINGS ENGINEERING DEPARTMENT.</div><div>7) CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.</div><div>8) IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LAYOUTS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF THE ALL UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.</div><div>9) PRIOR TO ANY CLEARING, AREAS THAT ARE CUT CORRIDORS SHALL BE ROOT PRUNED WITH A DOSKO BRAND ROOT PRUNER, OR APPROVED EQUAL. PROVIDE TREE PROTECTION BARRICADES, IN ACCORDANCE WITH PINELLAS COUNTY SPECIFICATIONS, AROUND EXISTING TREES TO REMAIN. COORDINATE WITH OWNER'S ARBORIST PRIOR TO REMOVAL OF EXISTING TREES IN CONFLICT WITH PROPOSED UNDERGROUND UTILITIES.</div><div>10) ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF TARPON SPRINGS LAND DEVELOPMENT, ZONING AND/OR RELATED ORDINANCES AND MINIMUM TESTING FREQUENCY REQUIREMENTS.</div><div>11) AS-BUILT SURVEYS AND/OR RECORD DRAWINGS MUST BE SUBMITTED TO THE COUNTY FIVE (5) BUSINESS DAYS PRIOR TO THE SITE INSPECTION FOR CERTIFICATE OF OCCUPANCY. NO CO WILL BE ISSUED WITHOUT REVIEW AND ACCEPTANCE OF RECORD DRAWINGS.</div><div>12) ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY WILL BE COMPACTED TO 100% OF MAXIMUM DENSITY AND SODDED.</div><div>13) ALL PUBLIC SIDEWALK THAT IS DAMAGED OR DOES NOT MEET ADA CRITERIA SHALL BE REPLACED.</div><div>14) DETENTION AREAS SHALL BE ROUGHED OUT PRIOR TO OTHER SITE GRADINGS AS A MEANS OF EROSION CONTROL.</div><div>15) SILT FENCE SHALL BE INSTALLED ACROSS THE OPENINGS OF ALL INFLOW PIPES INTO A POND.</div><div>16) CONSTRUCTION OF STORMWATER FILTERDRAINS (UNDERDRAINS) SHALL BE INSPECTED BY THE ENGINEER OF RECORD WITH AN INSPECTION REPORT AND PHOTO DOCUMENTATION PROVIDED TO THE COUNTY.</div><div>17) SILT FENCE SHALL BE INSTALLED AT ALL INFLOW POINTS TO STORMWATER MANAGEMENT SYSTEMS AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PROJECT. RETAINED SEDIMENT SHALL BE REMOVED AT REGULAR INTERVALS OR AS DIRECTED BY THE CITY.</div><div>18) UPON COMPLETION OF THE PROJECT, THE ENGINEER OF RECORD SHALL COMPLETE THE ORIGINAL CERTIFICATION OF PROJECT COMPLETION FORM (ENCLOSED) AND SUBMIT 2 ORIGINAL COPIES OF AS-BUILT PLANS, ELECTRONIC FILES (BOTH PDF AND DWG) AND INDEPENDENT TESTING REPORTS FOR WORK PERFORMED WITHIN THE CITY OF TARPON SPRINGS RIGHTS-OF-WAY.</div><div>19) A CERTIFICATE OF OCCUPANCY INSPECTION CANNOT BE REQUESTED OR SCHEDULED UNTIL ALL PROJECT COMPLETION DOCUMENTS HAVE BEEN SUBMITTED TO OUR OFFICE.</div><div>20) AS-BUILT DOCUMENTS MUST BE SUBMITTED AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE REQUESTING OR SCHEDULING OF A CO. CO INSPECTIONS MUST BE SCHEDULED TWO (2) DAYS IN ADVANCE AND ARE ONLY AVAILABLE ON MONDAYS, WEDNESDAYS OR FRIDAYS.</div></div>		<div>DRAINAGE NOTES</div> <div><div>1) ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE CITY OF TARPON SPRINGS, DEPT OF ENVIRONMENT AND INFRASTRUCTURE STANDARDS UNLESS OTHERWISE NOTED ON PLANS.</div><div>2) PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO CENTER OF DRAINAGE STRUCTURE WITH THE EXCEPTION OF MITERED END SECTIONS WHICH ARE NOT INCLUDED IN LENGTHS.</div><div>3) ALL DRAINAGE STRUCTURE TOPS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.</div><div>4) ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.</div><div>5) THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.</div></div>		<div>DEWATERING NOTES</div> <div><div>1) NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATION SHOWN ON THE DRAWINGS, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE, AND NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION.</div><div>2) IF ANY LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTHS/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA. EPC MUST BE CONTACTED PRIOR TO ANY EXCAVATION OF CLAYS. IN THE ABSENCE OF ANY CONFINING OR SEMI-CONFINING UNIT CLAYEY SOILS, A MINIMUM OF 3' OF UNDISTURBED SOILS SHALL REMAIN ABOVE THE UNDERLYING LIMESTONE.</div><div>3) THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND THE GEOTECHNICAL ENGINEER IF SIGNIFICANT CLAY LAYERS ARE ENCOUNTERED DURING POND EXCAVATION. POND EXCAVATION DEPTHS MAY BE RAISED TO ELIMINATE OR MINIMIZE CLAY LAYERS AND CLAYEY AREAS SHALL BE COVERED WITH ONE FOOT OF CLEAN SANDY SOILS.</div><div>4) POND BERMS ADJACENT TO WETLANDS, WHERE SHOWN, SHALL BE CONSTRUCTED AS EARLY AS PRACTICAL. IN THE RELATED POND EXCAVATION OPERATION, THE PURPOSE IS TO PREVENT TURBID WATER DISCHARGE TO THE WETLAND DURING POND EXCAVATION. CONTROL STRUCTURES ARE TO BE TEMPORARILY BLOCKED IF NECESSARY TO PREVENT DISCHARGE OF TURBID WATERS.</div><div>5) WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS AND TO PROTECTED UPLANDS. TREATMENT METHODS INCLUDE, FOR EXAMPLE, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS (OTHER THAN UPLAND PRESERVATION AREAS AND WETLAND BUFFERS), SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS. POND TURBIDITY LEVELS MUST BE VISUALLY EVALUATED UPON CONSTRUCTION COMPLETION. ADDITIONAL MEASURES SUCH AS TEMPORARY LOWERING OF POND WATER LEVELS BY PUMPING TURBID WATER TO OVERLAND FILTRATION MAY BE NECESSARY TO PREVENT DIRECT DISCHARGE OF TURBID WATER TO ADJACENT WETLANDS.</div></div>		<div>CONSTRUCTION STANDARDS AND SPECIFICATIONS</div> <div><div>1) MAINTENANCE OF TRAFFIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND IN ACCORDANCE WITH STATE OF FLORIDA D.O.T. STANDARD INDEX 102-600.</div><div>2) ALL PAVEMENT STRIPING AND TRAFFIC FLOW ARROWS SHALL BE THERMOPLASTIC COMPOUND, MEETING THE REQUIREMENTS OF AASHTO M 240-79 (1986) AND BE INSTALLED IN SUBSTANTIAL COMPLIANCE WITH F.D.O.T. STANDARD FOR ROAD AND BRIDGE CONSTRUCTION 1991, SECTION 711 WITH RPMs PER FOOT #17352.</div><div>3) ALL WORK PERFORMED WITHIN THE RIGHT OF WAY SHALL CONFORM TO:<div><div>a) FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2004), (AKA: STANDARD SPECS).</div><div>b) FOOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND OPERATIONS ON THE STATE HIGHWAYS SYSTEM, LATEST EDITION, (AKA: STANDARD INDEX), COMPLIANCE WITH ALL APPLICABLE INDICES IS REQUIRED.</div><div>c) FOOT ROADWAY PLANS PREPARATION MANUAL VOLUME 1, CHAPTERS 2 AND 25 (2004).</div><div>d) FOOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION, JANUARY 2002.</div><div>e) ALL TRAFFIC STRIPES AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. THE PERMITTEE SHALL FURNISH THE FOOT WITH THE MANUFACTURE'S CERTIFICATION THAT THE THERMOPLASTIC IS "LEAD-FREE".</div></div></div><div>4) ALL PROPOSED PAVEMENT MARKINGS TO MEET AND MATCH EXISTING PAVEMENT MARKINGS.</div><div>5) ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATIONS MANUAL.</div><div>6) SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF TRANSPORTATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "STANDARD PLANS" INDEXES 102-600 THROUGH 102-670 (LATEST EDITIONS). ALL PROPOSED WORK MUST COMPLY WITH F.D.O.T. INDEX NO. 700.</div><div>7) SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.</div><div>8) SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.</div><div>9) PLACE EXPANSION JOINTS WHERE 4" AND 6" CONCRETE ABUT.</div><div>10) PLACE EXPANSION JOINT BETWEEN BACK-OF-CURB AND CONCRETE DRIVEWAY.</div><div>11) COMPACTION FOR PIPE BACKFILL SHALL COMPLY WITH AASHTO T-99 (100%).</div><div>12) PROVIDE A MINIMUM OF 3' COVER OVER UTILITIES AT ALL DITCH CROSSINGS</div><div>13) THE PERMITTEE'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION EXCAVATION SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO CONSTRUCTION, OPERATION AND MAINTENANCE PURSUANT TO THIS PERMIT.</div></div>		<div>CLEARING / DEMOLITION NOTES</div> <div><div>1) PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE CITY OF ST. PETERSBURG AND OR THE OWNER.</div><div>2) THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.</div><div>3) REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.</div><div>4) ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.</div></div>		<div>SAFETY NOTES</div> <div><div>1) DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.</div><div>2) LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.</div><div>3) CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS AS THE BEST PRACTICE AS THE ENTIRE SAFETY PROGRAM BUT, LATEST BASIC REQUIREMENTS.</div><div>4) ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 C.F.R PART 1926, SUBPART P.</div><div>5) THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY MAINTENANCE, MAINTENANCE AND UTILITY OPERATIONS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.</div><div>6) ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.</div><div>7) IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND</div></div>	
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KEYSTONE VILLAGE

CLIENT: HAYDON DEVELOPMENT GROUP

AERIAL SITE PLAN

Engineering Business Certificate of Authorization No. 32771
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PROJECT No. 092-01-01

SHEET	C 3.0
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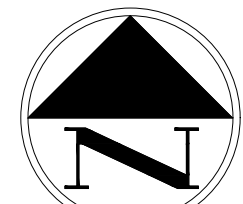


- DEMOLITION NOTES**
- 1.) DEMOLITION AREA SHOWN ON THIS PLAN IS A GENERAL REPRESENTATION. ACTUAL EXTENTS OF DEMOLITION SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION BY OWNER AND CONTRACTOR.
 - 2.) CONTRACTOR TO COORDINATE RELOCATION OF ALL EXISTING UTILITIES.
 - 3.) NO SEPTIC TANKS WERE LOCATED ON THE SURVEY. SHOULD A SEPTIC TANK BE FOUND AND IS TO BE ABANDONED, THE SEPTIC TANK SHOULD BE PUMPED OUT, BOTTOMS RUPTURED, AND FILLED WITH CLEAN SAND OR OTHER SUITABLE MATERIAL. A PERMIT WILL BE REQUIRED FOR THE FLORIDA DEPARTMENT OF HEALTH PRIOR TO WORK BEING PERFORMED.
 - 4.) NO WELLS WERE LOCATED ON THE SURVEY. IF A WELL IS TO BE FOUND AND IS TO BE ABANDONED, IT SHALL BE ABANDONED BY A LICENSED CONTRACTOR PER CHAPTER 400-3 OF THE SWFMD REGULATION OF WELLS.

LEVELUP
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CONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE

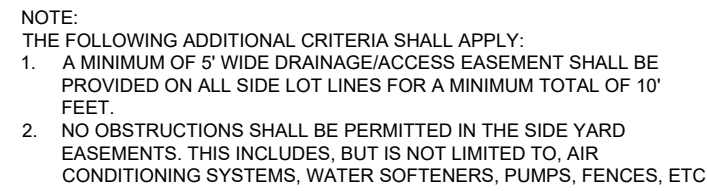
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EXISTING CONDITION AND DEMOLITION PLAN

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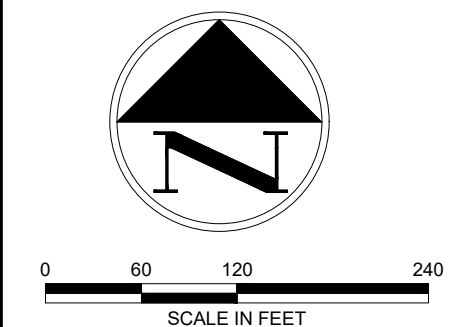
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SHEET C 4.0



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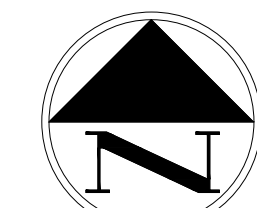


KEYSTONE VILLAGE

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MASTER SITE PLAN

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KEYSTONE VILLAGE

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SITE PLAN

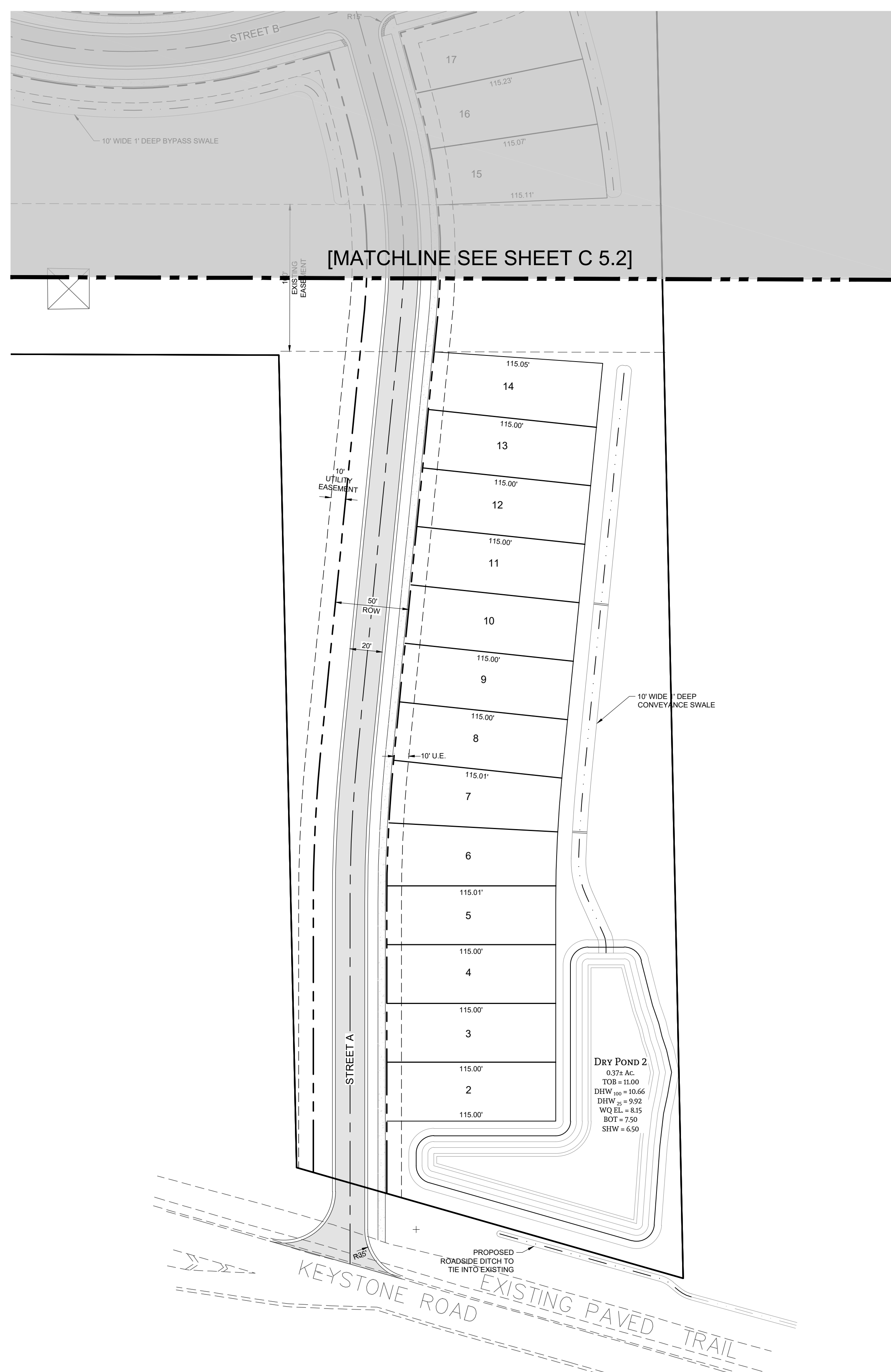
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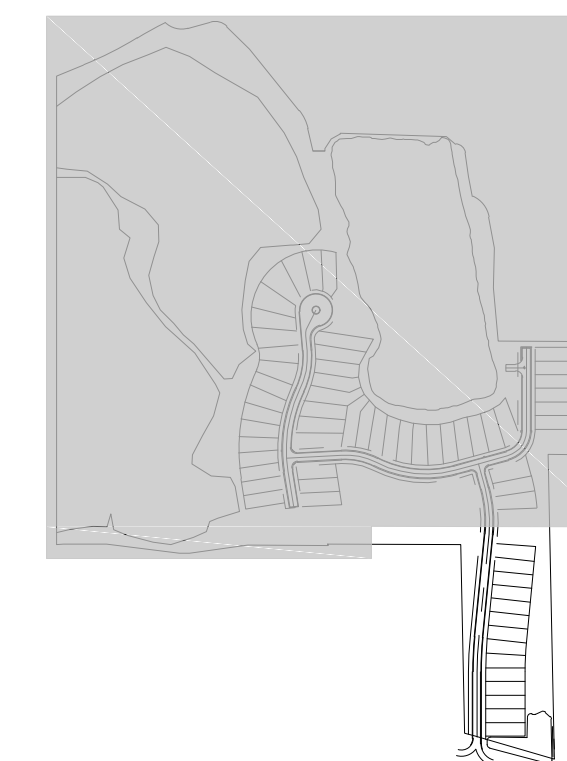
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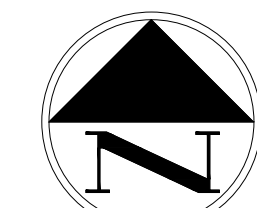
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KEY MAP



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SCALE IN FEET

CONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE

CLIENT: HAYDON DEVELOPMENT GROUP

SITE PLAN

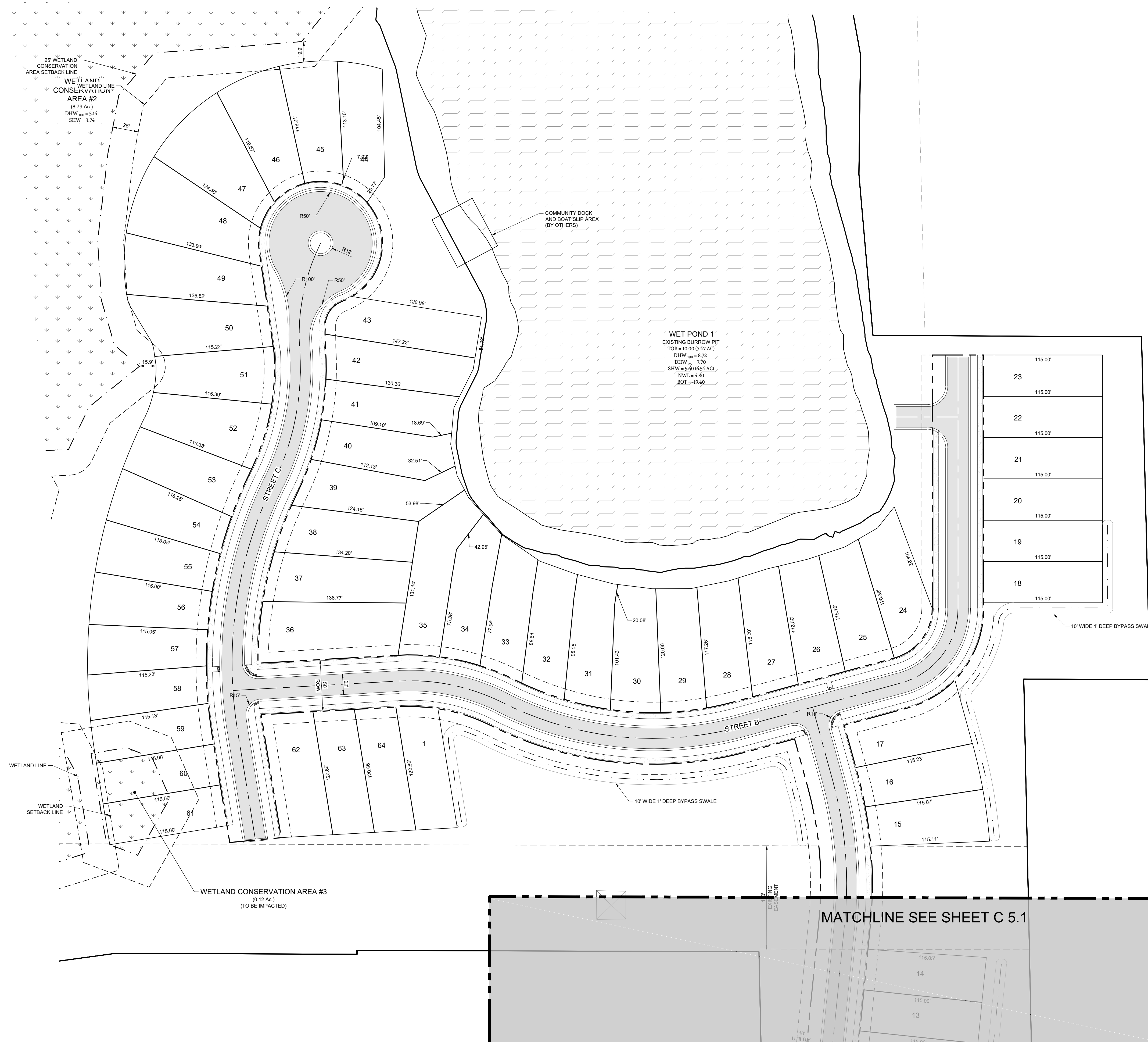
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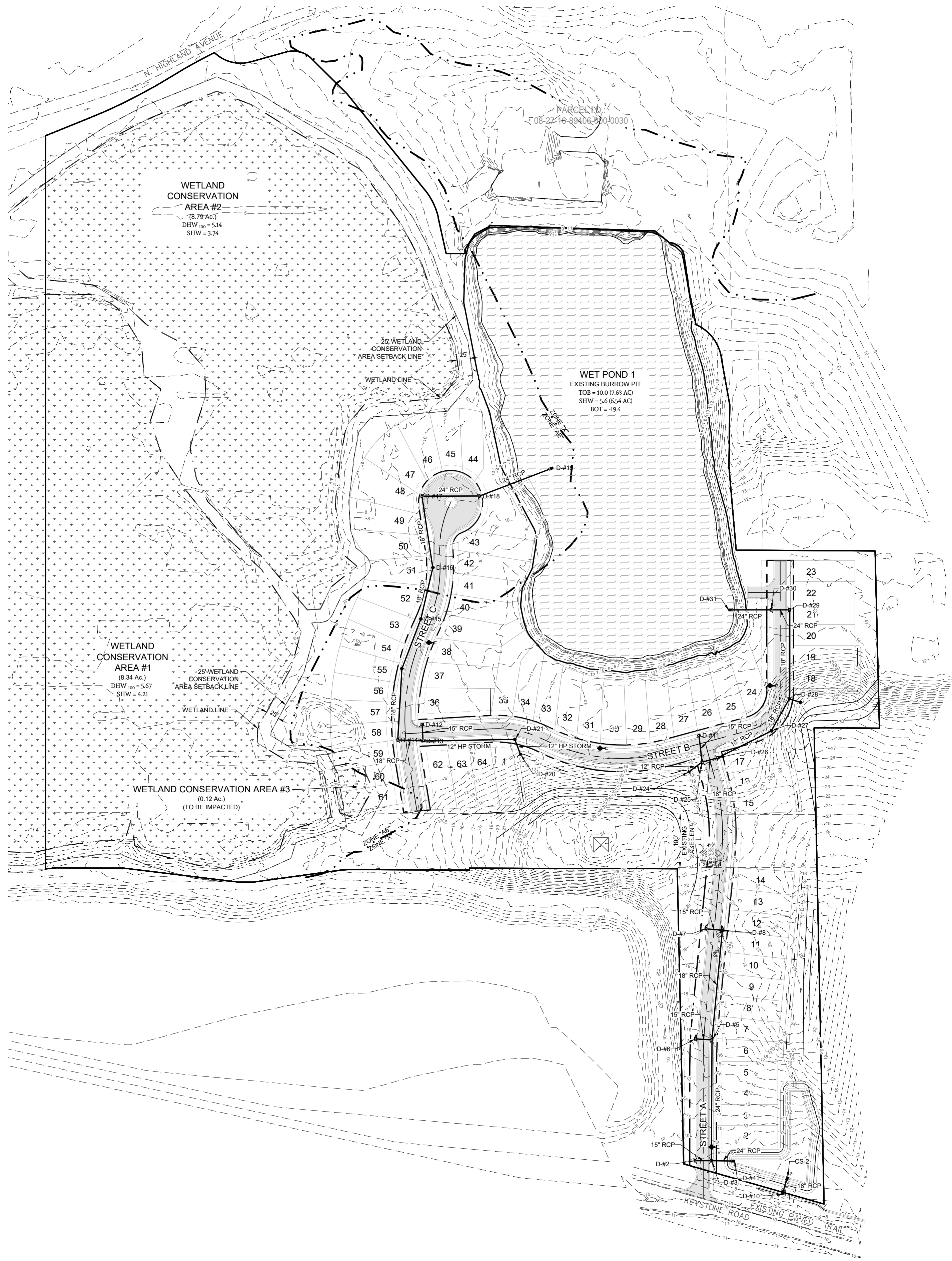
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SHEET	C 5.2
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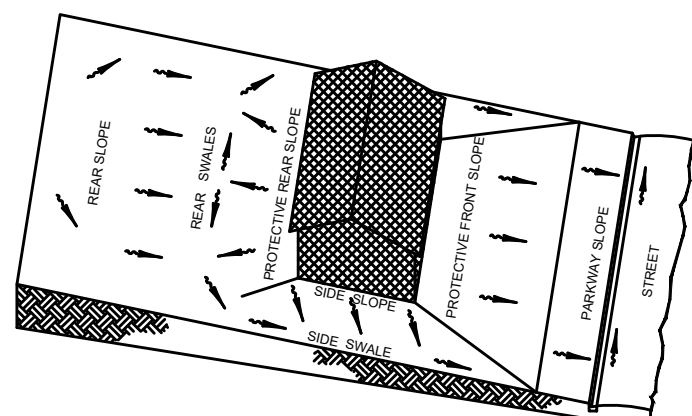
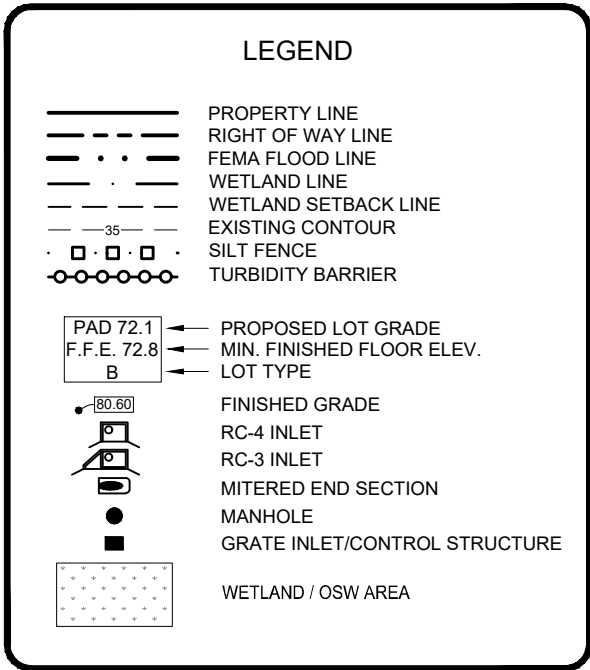


KEY MAP

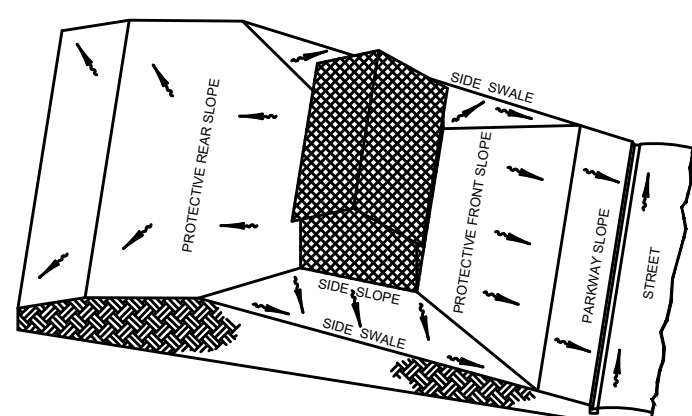
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- ### NOTES
1. THE PROPERTY DESCRIBED HEREON IS LOCATED IN ZONE "1" AND "A" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12103C0036G AND NO. 12103C0038G, (DATED AUGUST 3, 2005)
 2. PAD GRADE PRIOR TO BUILDING CONSTRUCTION IS FINISHED FLOOR MINUS 8".
 3. PAD GRADE PRIOR TO BUILDING CONSTRUCTION SHALL EXTEND 5' BEYOND BUILDING/SIDEWALK PERIMETER.
 4. MINIMUM SLOPE FOR SIDE YARD SWALE SHALL BE 1%. SLOPES ARE INDICATED IN AREAS WHERE MIN. SLOPE IS NOT ATTAINED.
 5. ALL GRADES ARE TO TOP OF SOO.
 6. ALL POND MAINTENANCE BERMS AND SIDE SLOPES TO BE GRASSED AND MULCHED
 7. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE RELATIVE TO THE NATIONAL GEODETIC SURVEY BENCHMARK "1" HAVING A PUBLISHED ELEVATION OF 22.25 FEET (NAVD 88).
 8. NO STRUCTURES OR MECHANICAL EQUIPMENT SHALL BE PLACED OR ENCROACH IN DRAINAGE EASEMENTS.



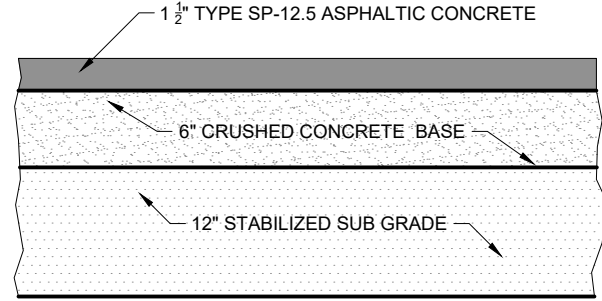
LOT GRADING TYPE "A"
ALL DRAINAGE TO STREET



LOT GRADING TYPE "B"
DRAINAGE BOTH TO STREET
AND TO REAR LOT LINE

PAVEMENT DESIGN

LAYER TYPE	STRUCTURAL COEFFICIENT	PROPOSED THICKNESS (IN)	SN
TYPE SP-12.5 ASPHALTIC CONCRETE	0.44	1.5	0.66
CRUSHED CONCRETE BASE (MIN. 150 LBR)	0.15	6.00	0.90
STABILIZED SUBGRADE (LBR 40 / 98% MOD. PROCTOR)	0.08	12.00	0.96
TOTAL PROPOSED SN			2.52 - OK
MINIMUM ALLOWED SN FOR LOCAL ROAD			2.30



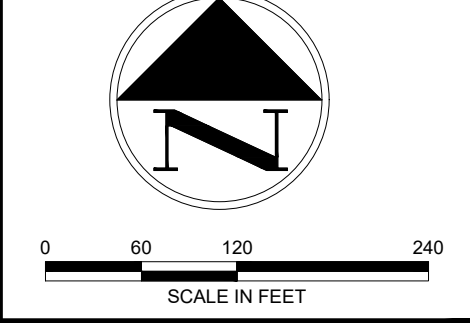
- ### MATERIAL NOTES:
1. 6" CRUSHED CONCRETE BASE, LBR 150 PRIMED AND COMPACTED TO 100% OF MAX. DENSITY (DETERMINED BY AASHTO T-180)
 2. 12" STABILIZED SUBGRADE, MIN. LBR 40, COMPACTED TO 98% MOD. PROCTOR MAX. DRY DENSITY (ASTM D-1557)
 3. WHEN NO CURB IS PROPOSED BASE TO EXTEND 6 INCHES BEYOND EDGE OF PAVEMENT.
 4. PAVEMENT DESIGN AND CONSTRUCTION TO COMPLY WITH CITY OF TARPON SPRINGS DETAIL R-02

TYPICAL PAVING SECTION (LOCAL RESIDENTIAL ROAD)
SCALE: N.T.S.

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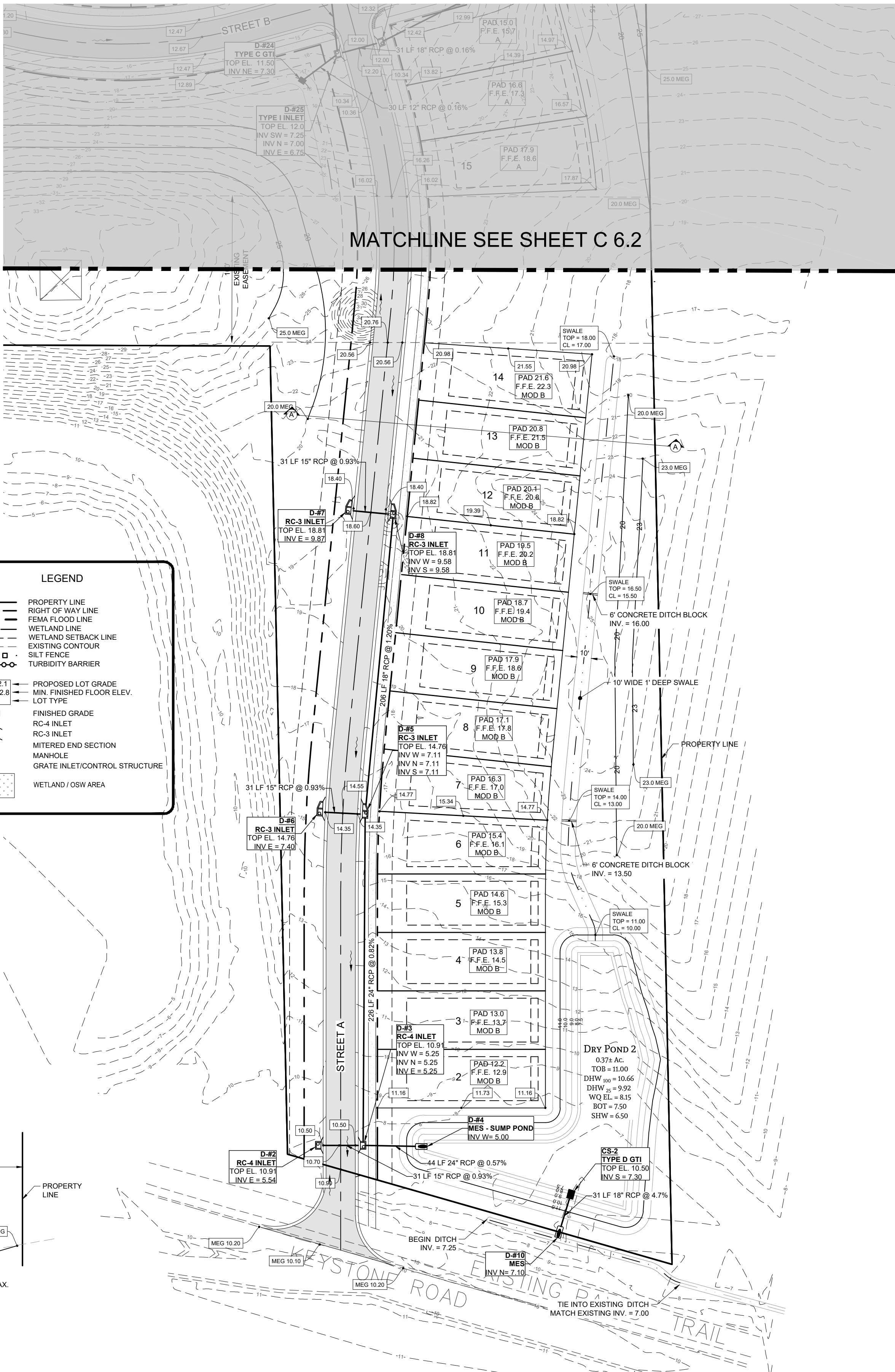
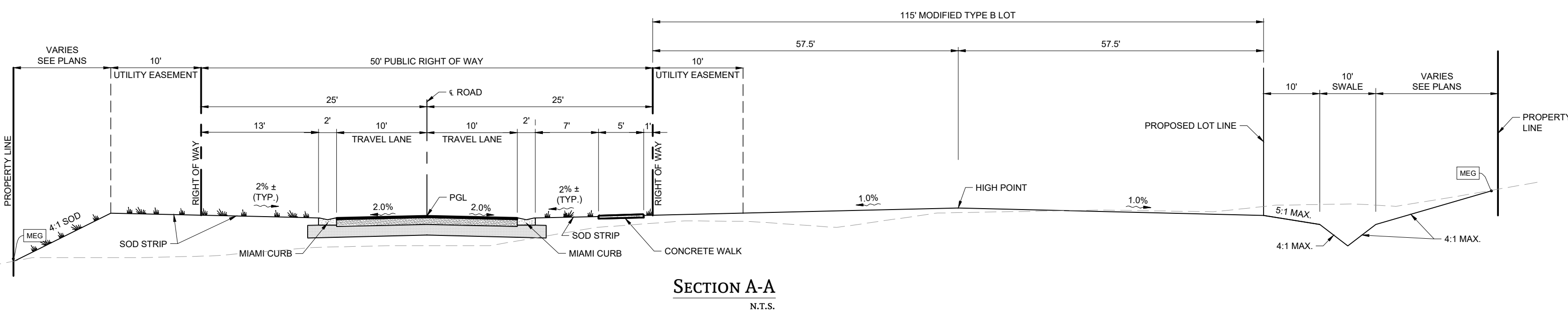
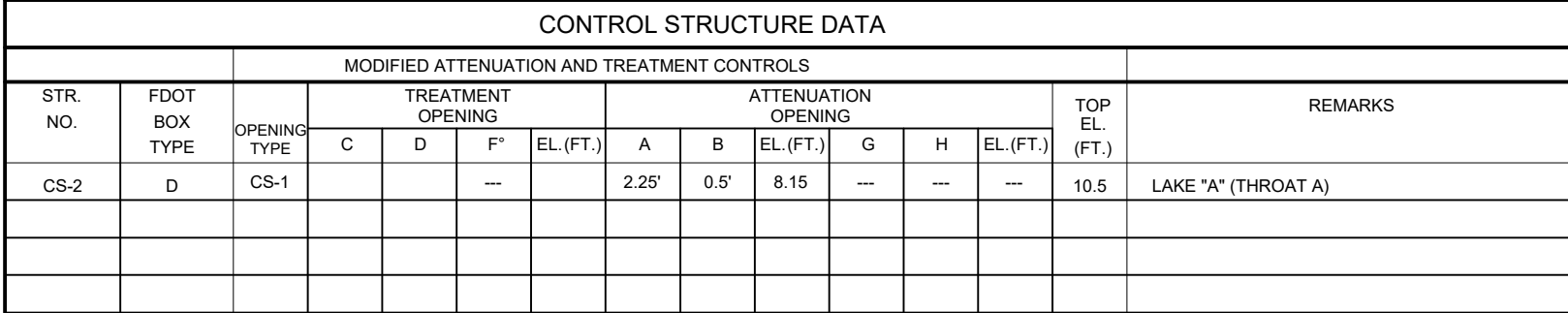
CONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE
CLIENT: HAYDON DEVELOPMENT GROUP
MASTER PAVING AND GRADING PLAN

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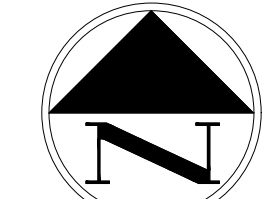
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A horizontal scale bar with a black top line and a white bottom line. The top line has tick marks at 0, 25, 50, and 100. The text 'SCALE IN FEET' is centered below the bar.

CONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE

CLIENT: HAYDON DEVELOPMENT GROUP
PAVING, GRADING, AND DRAINAGE PLAN

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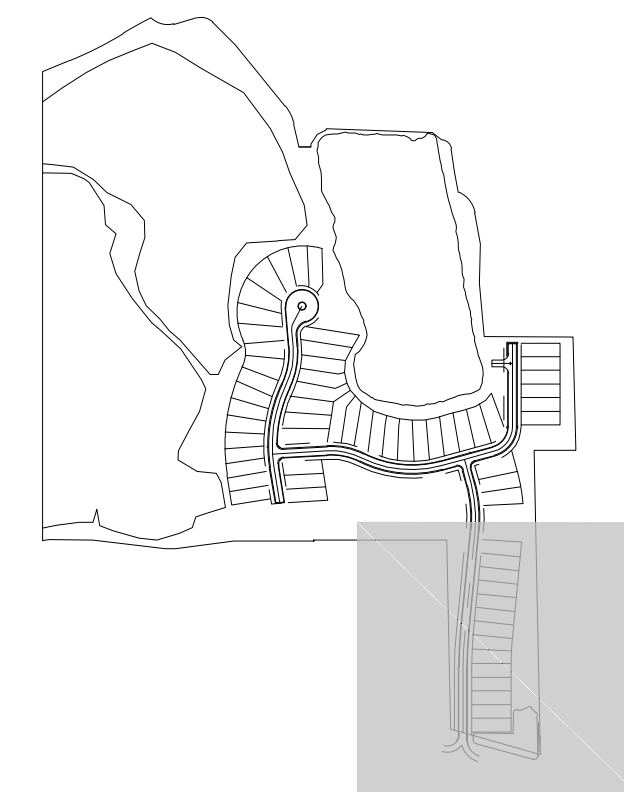
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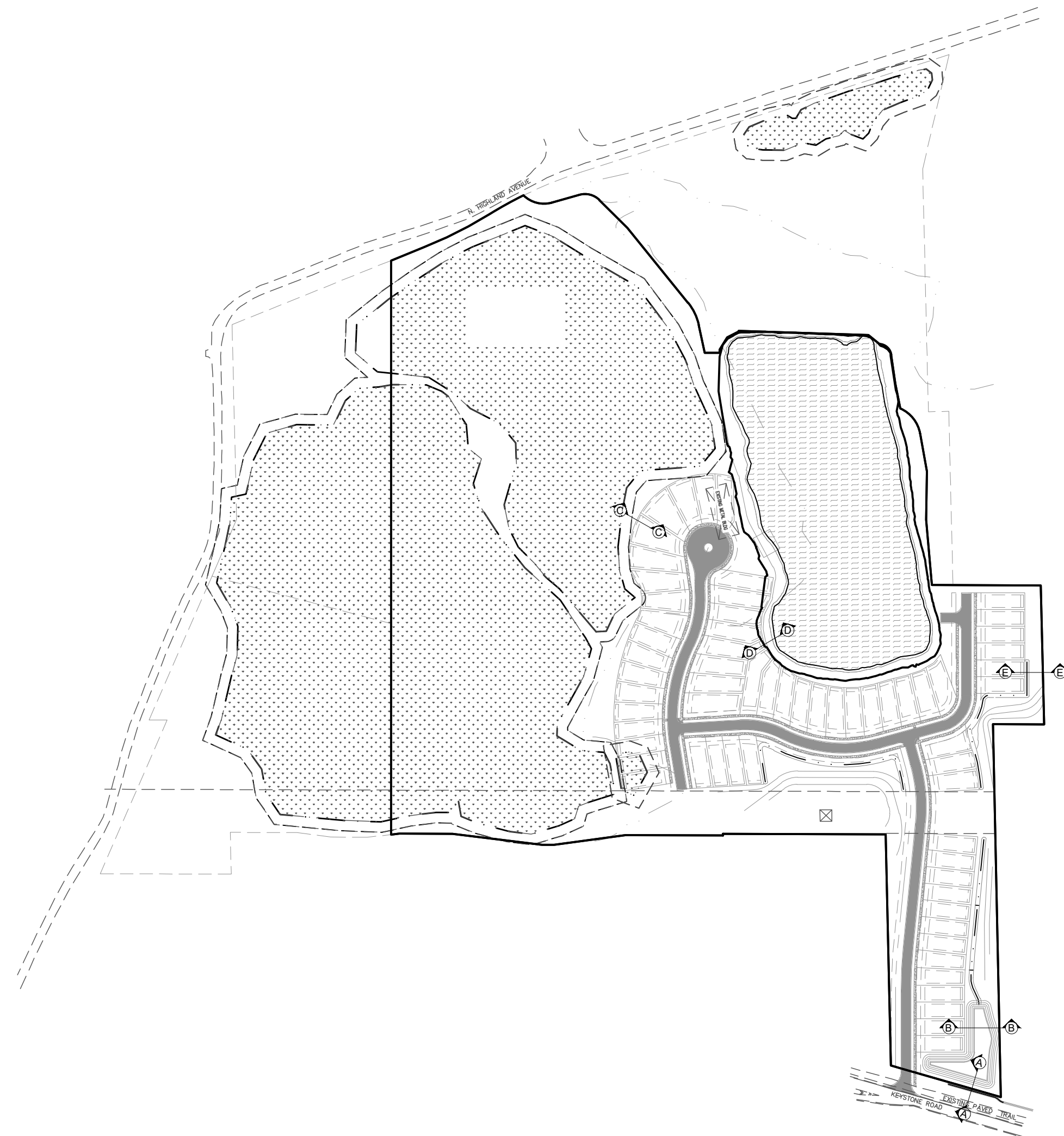
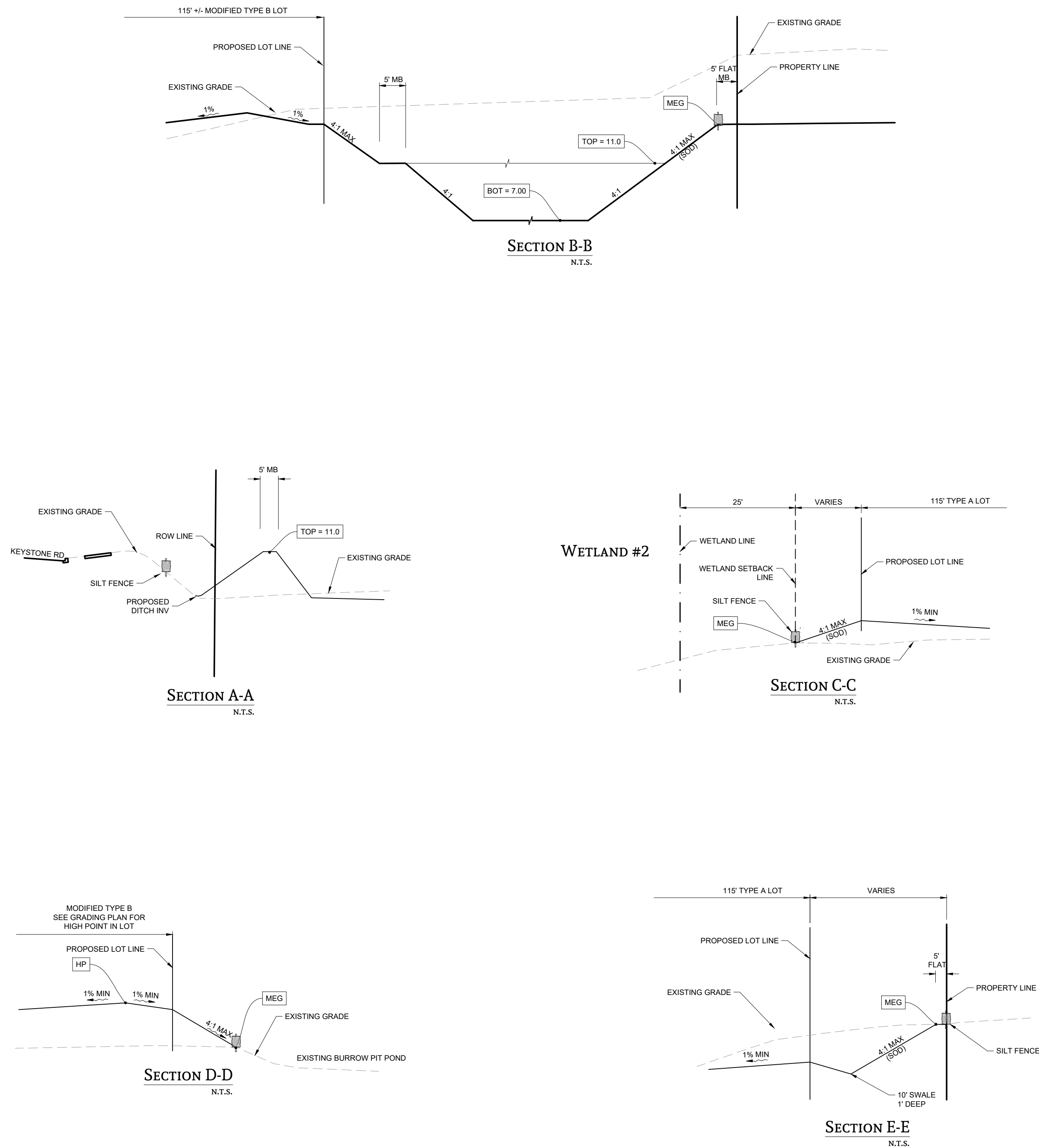
PROJECT No.	092-01-01
SHEET	C 6.2



KEY MAP



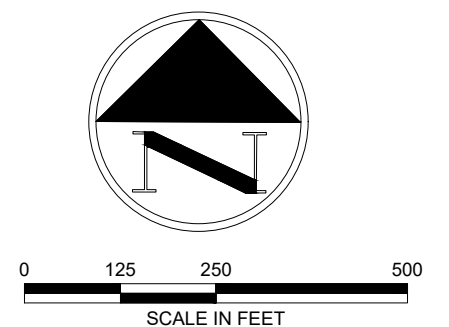
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CONSTRUCTION PLAN REVISIONS

KEYSTONE VILLAGE

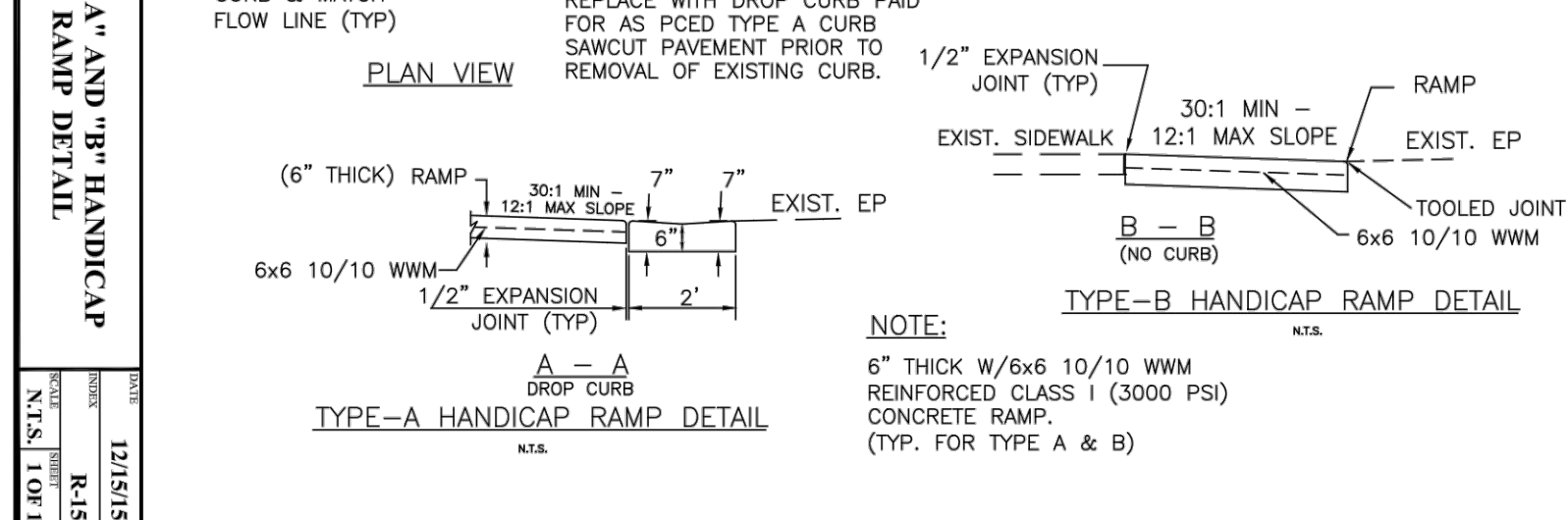
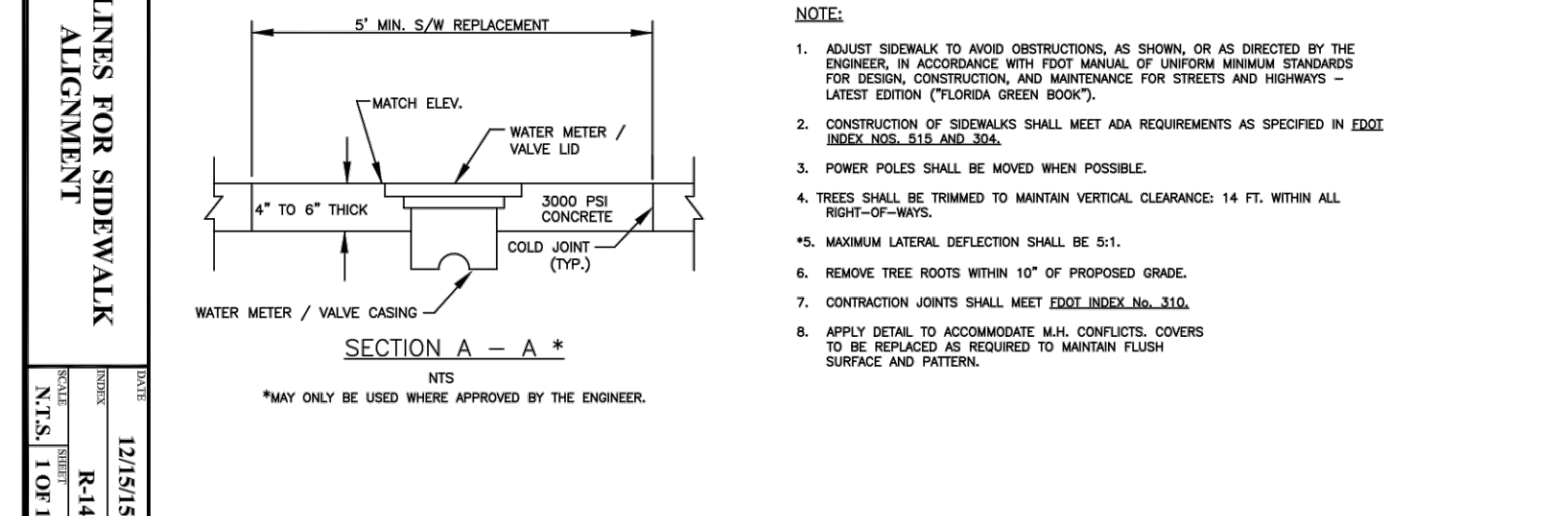
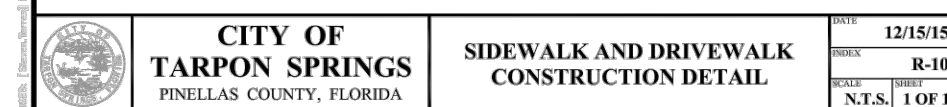
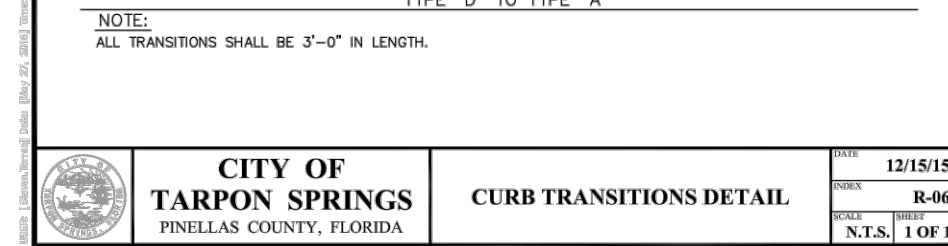
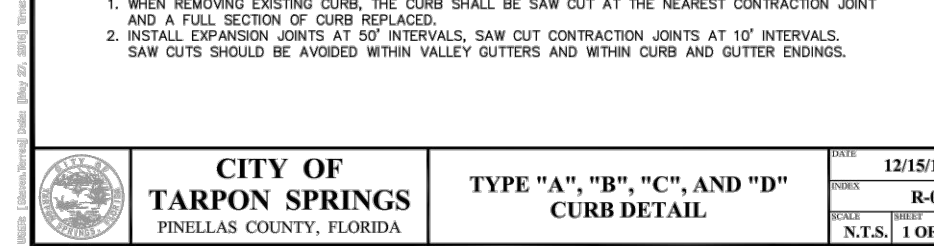
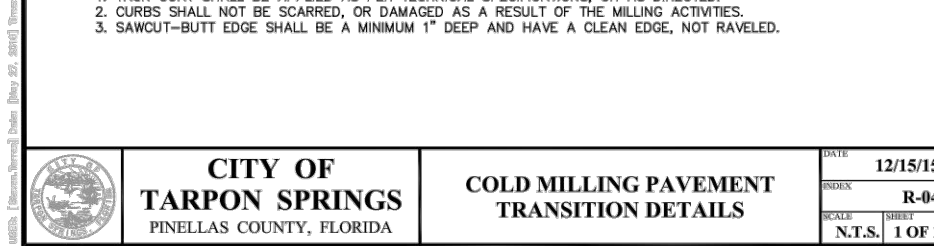
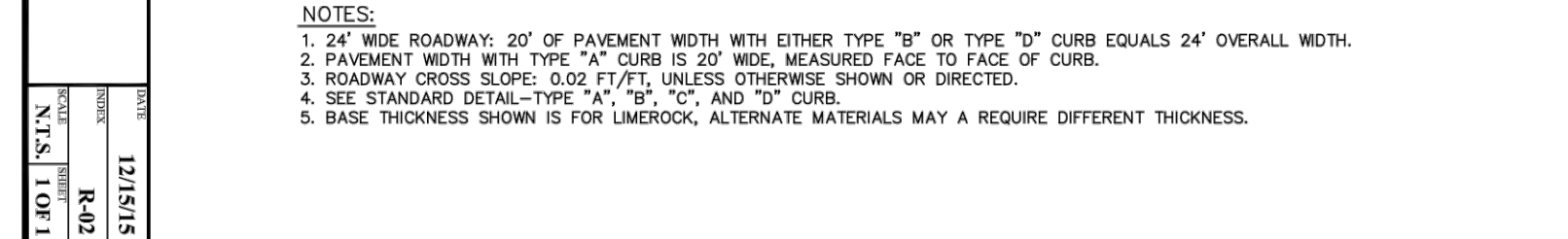
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CROSS SECTIONS

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